

SITE DEVELOPMENT PLANS for ABBOTTS RUN CLUBHOUSE EXPANSION

511 COBBLESTONE DRIVE
Wilmington, North Carolina

PRELIMINARY DESIGN
NOT RELEASED FOR
CONSTRUCTION

ISSUED FOR AGENCY
REVIEW ONLY

OWNER:

WILMINGTON AR HOUSING LLC
772 EAST MARKET STREET
SUITE 102
LEESBURY, VA 28405

ARCHITECT:

KOT HOSTETLER ARCHITECTS
2906 MARKET STREET, SUITE 101
WILMINGTON, NC 28403

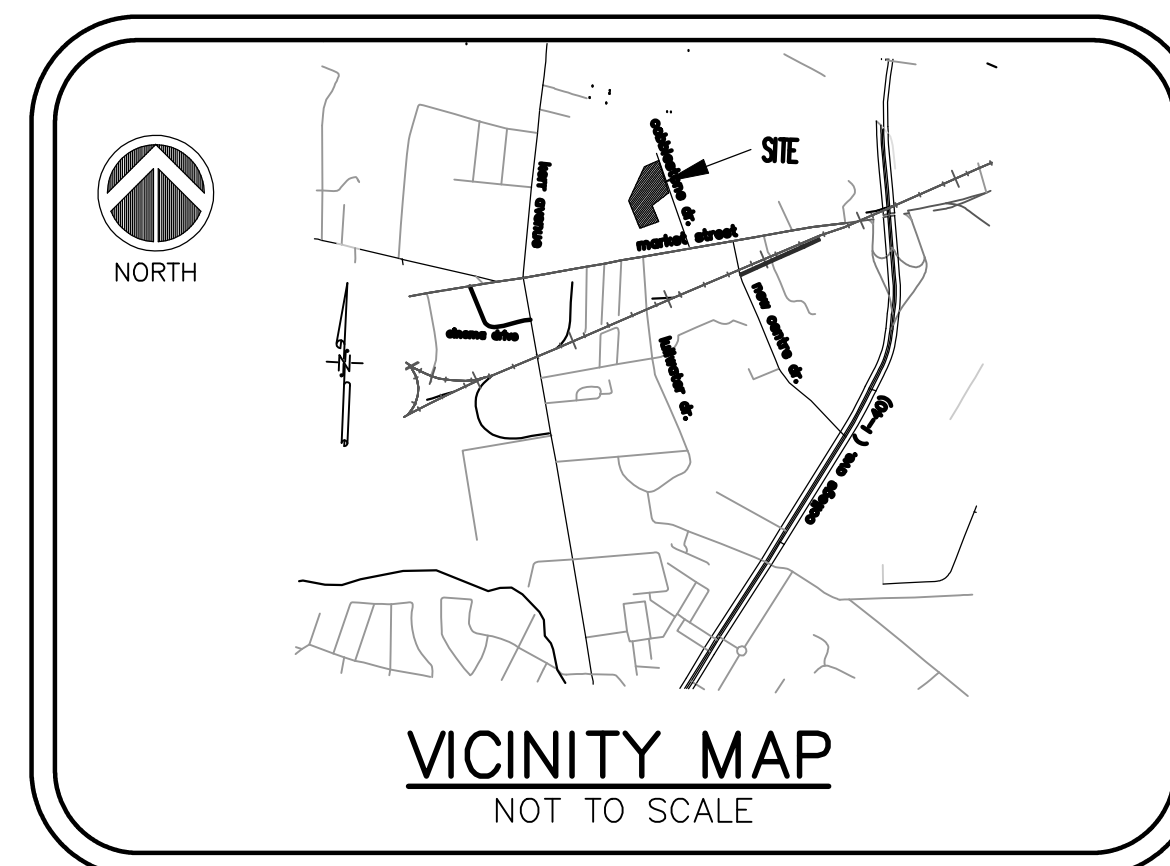
DESIGNER



Coastal Land Design, PLLC

Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0369

P.O.Box 1172
Wilmington, NC 28402 www.cldeng.com Phone: 910-254-9333
Fax: 910-254-0502



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GENERAL UTILITY NOTE:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FROM THE UTILITY COMPANY AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE BROUGHT TO THE OWNERS AND ENGINEERS ATTENTION IMMEDIATELY.

GENERAL NOTES:

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
5. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
7. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
8. CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMP.
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
15. ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
16. CONTACT ALINA DOROFEEVA AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
18. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
19. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 919-343-3910 FOR INFORMATION.
21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCHR OR ASSE.
23. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
24. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
25. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
27. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING

WILMINGTON
APPROVED Construction Plan

_____	Name	_____	Date
_____	Planning	_____	_____
_____	Traffic	_____	_____
_____	Fire	_____	_____

WILMINGTON
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



LEGEND:

SETBACKS
 BUILDING HEIGHT = 35'
 FRONT SETBACK: 35'
 REAR SETBACK: 25'
 SIDE SETBACK: 20'
 CORNER SIDE: 30'

ASPHALT PARKING LOT CONVERSION TO GRASS/GRAVEL OR REMOVAL.
 BUA REDUCTION = 3,358 SF (14 SPACES)

PROJECT AREA
 20,600 SF

TRACT 1R
 TRACT 1R, ACCORDING TO A PLAT ENTITLED "RECOMBINATION AND PRIVATE EASEMENT DEDICATION MAP-ABBOTT'S RUN" RECORDED IN MAP BOOK 42 AT PAGE 276, IN THE NEW HANOVER COUNTY REGISTRY, N.C.

TRACT 2A
 TRACT 2A, ACCORDING TO A PLAT ENTITLED "RECOMBINATION AND PRIVATE EASEMENT DEDICATION MAP-ABBOTT'S RUN" RECORDED IN MAP BOOK 42 AT PAGE 276, IN THE NEW HANOVER COUNTY REGISTRY, N.C.

TRACT 2B
 TRACT 2B, ACCORDING TO A PLAT ENTITLED "RECOMBINATION AND PRIVATE EASEMENT DEDICATION MAP-ABBOTT'S RUN" RECORDED IN MAP BOOK 42 AT PAGE 276, IN THE NEW HANOVER COUNTY REGISTRY, N.C.

TOGETHER WITH EASEMENT RIGHTS AS DEFINED AND DESCRIBED IN BOOK 2906, PAGE 168, NEW HANOVER COUNTY REGISTRY.

SURVEY REFERENCE

MAP BOOK 42 PAGE 276	RECOMBINATION MAP	BLANKET	ALL	
DEED BOOK 916 PAGE 247	ELECTRIC	BLANKET	ALL	
DEED BOOK 560 PAGE 378	ELECTRIC	BLANKET	ALL	
DEED BOOK 2806 PAGE 168	STORM WATER (PRIVATE)	SHOWN	GRANTEE	BENEFIT
DEED BOOK 2819 PAGE 358	STORM WATER (PRIVATE)	SHOWN		
DEED BOOK 3249 PAGE 423	UTILITY (MUNICIPAL)	SHOWN		
DEED BOOK 2976 PAGE 813	CATV	BLANKET		
MAP BOOK 42 PAGE 124	DEDICATION MAP	SHOWN		
DEED BOOK 3352 PAGE 86	STORM WATER (PRIVATE)	SHOWN		
DEED BOOK 3352 PAGE 86	OPEN SPACE	SHOWN		

LINE DATA

No.	DIRECTION	DISTANCE
L1	S 23°16'36" E	20.00
L2	S 21°08'08" E	16.72
L3	N 23°52'04" W	35.42
L4	N 23°52'04" W	20.00
L5	N 23°52'04" W	35.42
L6	S 23°16'36" E	20.00
L7	S 66°07'57" W	20.00
L8	S 23°52'01" E	33.33
L9	N 24°08'29" W	20.00
L10	N 23°52'01" E	20.00
L11	N 21°07'58" E	20.00
L12	N 21°08'08" E	12.59
L13	N 66°07'58" E	20.00

THIS PROPERTY IS IN A FLOOD ZONE (X) AS SHOWN ON FEMA COMMUNITY PANEL 3720 3138 00J DATED 4/03/06.

STROUD ENGINEERING, P.A.
 102-D CINEMA DRIVE
 WILMINGTON, NC 28403
 (910) 815-0775

LEGEND

- ECM ■ FC CONTROL CORNER
- EXISTING CONCRETE MONUMENT
- CENTER LINE OF RIGHT-OF-WAY
- AREA LIGHT
- WATER VALVE
- SEWER MAN HOLE
- SEWER CLEAN OUT
- STORM DRAIN STRUCTURE AND LINE
- EXISTING IRON PIPE

50 25 0 50 100
 GRAPHIC SCALE: 1" = 50'

TO WILMINGTON AR HOUSING LLC, FINANCIAL FEDERAL BANK, FEDERAL HOME LOAN MORTGAGE CORPORATION, THEIR SUCCESSORS AND ASSIGNS, AND CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 6(b) & 8 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 1/27/2016.

DATE OF PLAT OR MAP: 1/27/2016

WILMINGTON
 Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

WILMINGTON
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

AREA SUMMARY

PARCEL ONE	6.12 ACRES	266,620 SF
PARCEL TWO	6.35 ACRES	276,730 SF
PARCEL THREE	2.24 ACRES	97,681 SF
TOTAL	14.71 ACRES	641,031 SF

PARCELS TO BE RECOMBINED TO ELIMINATE INTERNAL SETBACK LINES

PARKING SPACES

REGULAR	502
HANDICAP	24
TOTAL	528

EXISTING PARKING COUNT OBTAINED BY FIELD VERIFICATION

WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURY, VA 28405

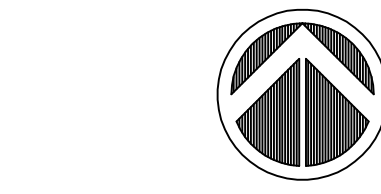
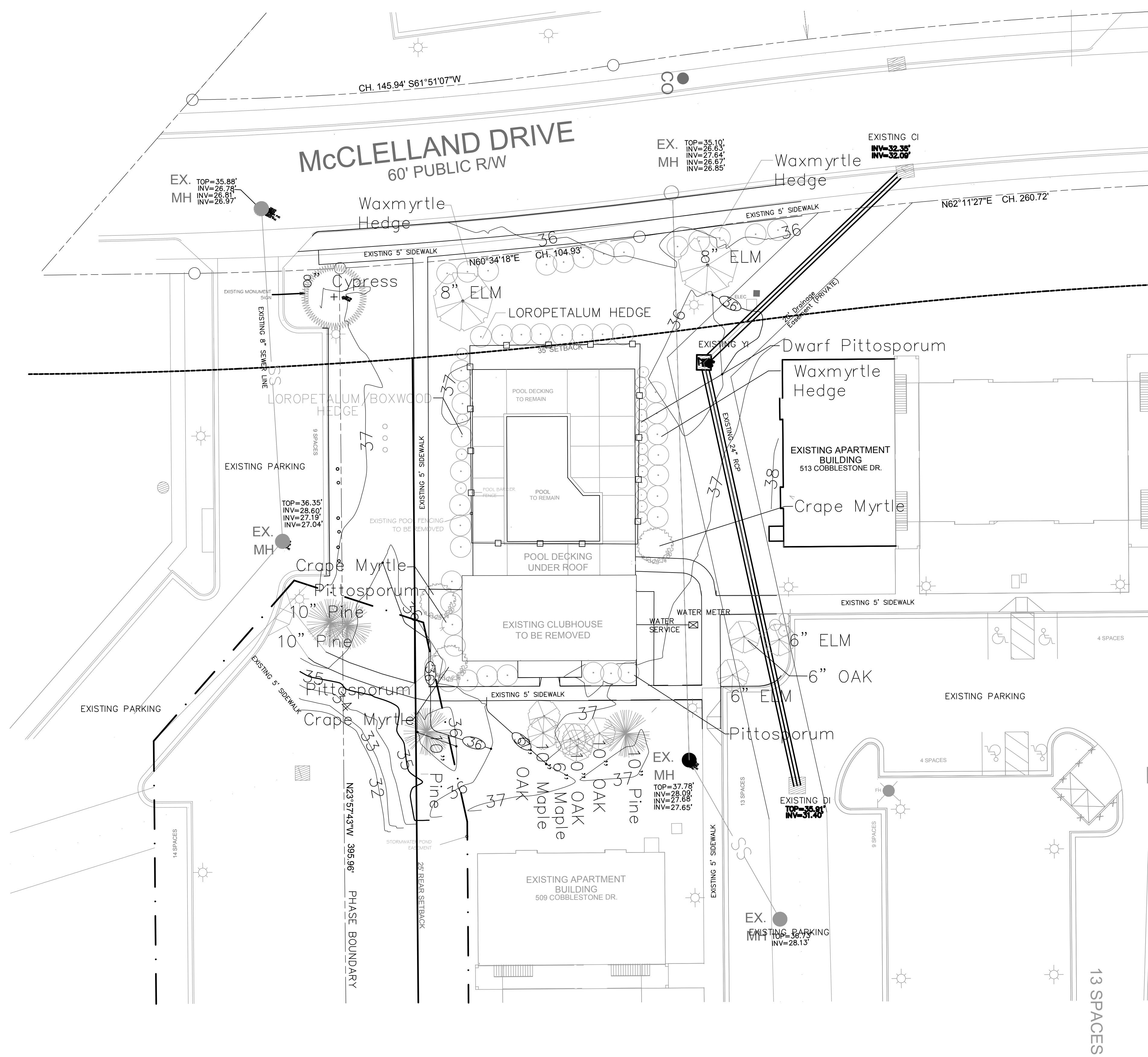
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 NCBELS Firm License No. P-0366
 P.O. Box 1172
 Wilmington, NC 28402 www.cdeng.com Phone: 910-254-6333 Fax: 910-254-0502

DRAWN BY: R. LEWIS	PROJECT NUMBER: 984-00
DESIGN BY: F. BRAXTON	SCALE: 1"=50'
CHECK BY: J. PETROFF	DATE: 08 JULY 2016
APPROVED BY: F. BRAXTON	

ABBOTTS RUN APARTMENTS
 511 COBBLESTONE DRIVE
 WILMINGTON, NC

MASTER PLAN

JOB NUMBER 141-02	SHEET NUMBER SP.01
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SCALE 1:20 (WHEN PRINTED ON 24 X 36 ARCH D PAPER)

SITE DATA

OWNER: WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURG, VA 20176
 PIN: R04911-001-022-000
 PARCEL SIZE: 14.71 AC PROJECT (640,768 SF)
 DEED: BK 5953 PG1832
 ZONING: MF-M
 CLASS: 12-3 + FAMILY RESIDENTIAL
 CAMA LAND USE: URBAN

SETBACKS

BUILDING HEIGHT = 35'
 FRONT SETBACK: 35'
 REAR SETBACK: 25'
 SIDE SETBACK: 20'
 CORNER SIDE: 30'

PARCELS TO BE RECOMBINED TO ELIMINATE INTERNAL SETBACK LINES

PARKING DATA

RATIO	REQUIRED
1 BR: 1.5 SPACES/UNIT =	180 SPACES
2-3 BR: 2.25 SPACES/UNIT =	324 SPACES
TOTAL	504 SPACES

TOTAL SITE SPACES: 528 SPACES
 REQUIRE ADA SPACES @ 2% = 11 SPACES
 PROVIDED ADA SPACES = 24 SPACES

EXISTING PARKING COUNT OBTAINED BY FIELD VERIFICATION

BUILDING DATA

EXISTING BUILDING COVERAGE: 80,254 SF
 NUMBER OF BUILDING
 9 APARTMENT BLDGS + CLUBHOUSE
 NUMBER OF UNITS
 1 BR: 120 UNITS
 2-3 BR: 144 UNITS
 SITE BUILDING COVERAGE: 12.5%
 ALLOWED COVERAGE: 30%

STORMWATER DATA

NCDEQ PERMIT #SW8 990 720
 PERMITTED BUA = 290,532 SF
 EXISTING BUA = 290,378 SF (NO CERTIFICATION)

TOPO DATA FROM FIELD SURVEY BY ESP ASSOCIATES

GENERAL UTILITY NOTE:
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FROM THE UTILITY COMPANY AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE BROUGHT TO THE OWNERS AND ENGINEERS ATTENTION IMMEDIATELY.

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WILMINGTON
 NORTH CAROLINA
 Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



LEGEND:

REV. #	DESCRIPTION	REV. BY	DATE



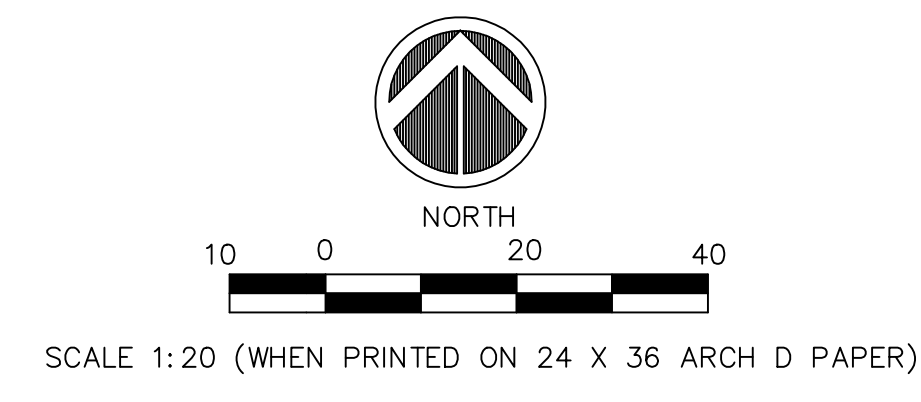
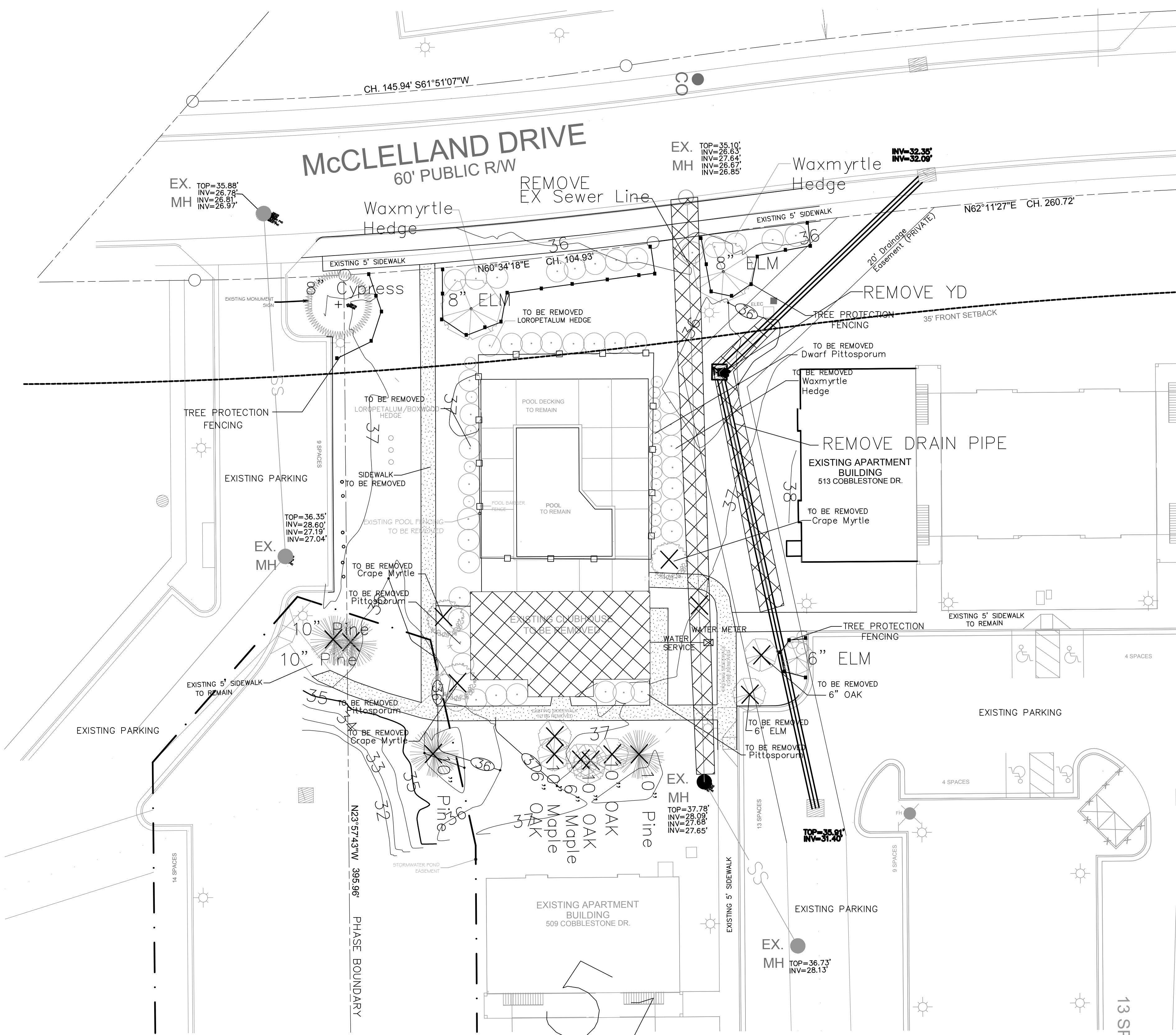
WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURY, VA 28405



DRAWN : R. LEWIS	PROJECT : 984-00
DESIGN : F. BRAXTON	NUMBER : 984-00
CHECK : J. PETROFF	SCALE : 1"=20'
APPROVED : F. BRAXTON	DATE : 08 JULY 2016
FILE NAME :	

ABBOTTS RUN APARTMENTS
 511 COBBLESTONE DRIVE
 WILMINGTON, NC

CLUBHOUSE REPLACEMENT
 EXISTING CONDITIONS



SITE DATA

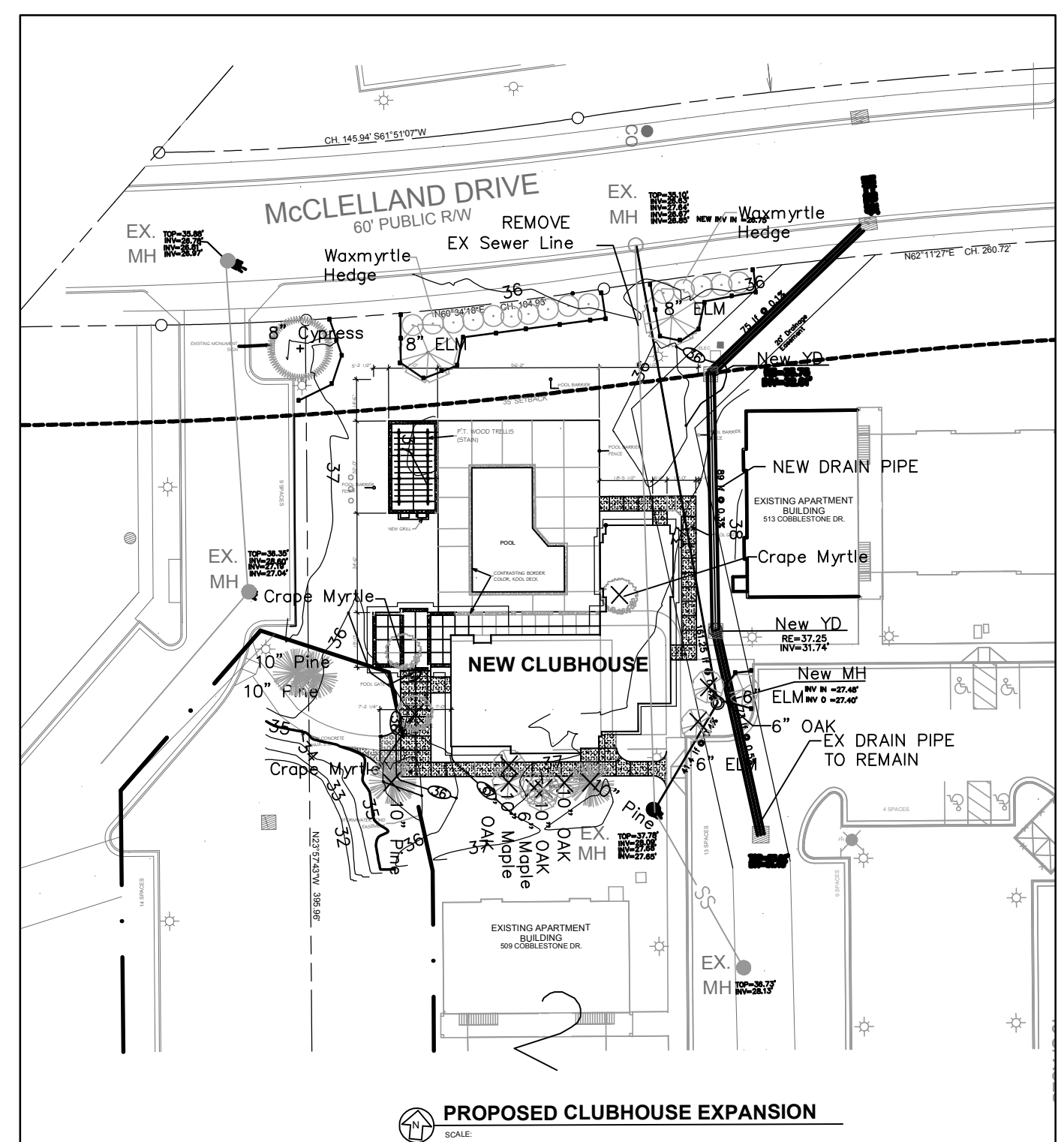
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 DEED: BK 5953 PG1832
 ZONING: MF-M
 CLASS: 12-3 + FAMILY RESIDENTIAL
 CAMA LAND USE: URBAN



- LEGEND:**
- SIDEWALK REMOVAL
 - BUILDING & UTILITY REMOVAL
 - TREE REMOVAL
 - TREE PROTECTION FENCING

TREES TO BE REMOVED ARE WITHIN THE LIMITS OF THE BUILDING AND UTILITY RELOCATION



SCALE: 1" = 50'

TREE REMOVAL WITH SITE PLAN OVERLAY

TOPO DATA FROM FIELD SURVEY BY ESP ASSOCIATES

EXISTING SHRUB NOTE:
 ALL SHRUBS ADJACENT TO THE EXISTING BUILDING AND POOL FENCING TO BE REMOVED.

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City of WILMINGTON
 Approved Construction Plan

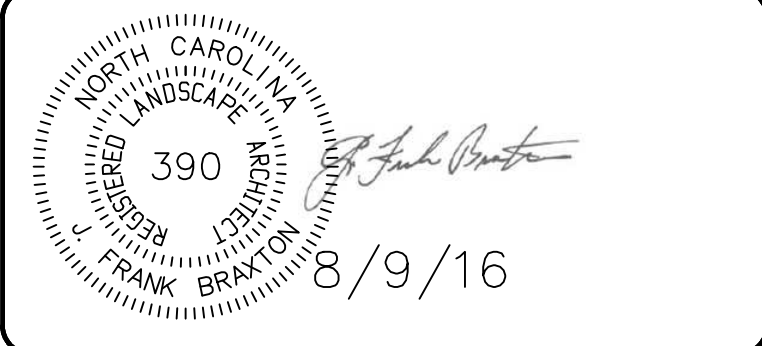
Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

REV. #	DESCRIPTION	REV. BY	DATE
REVISIONS			



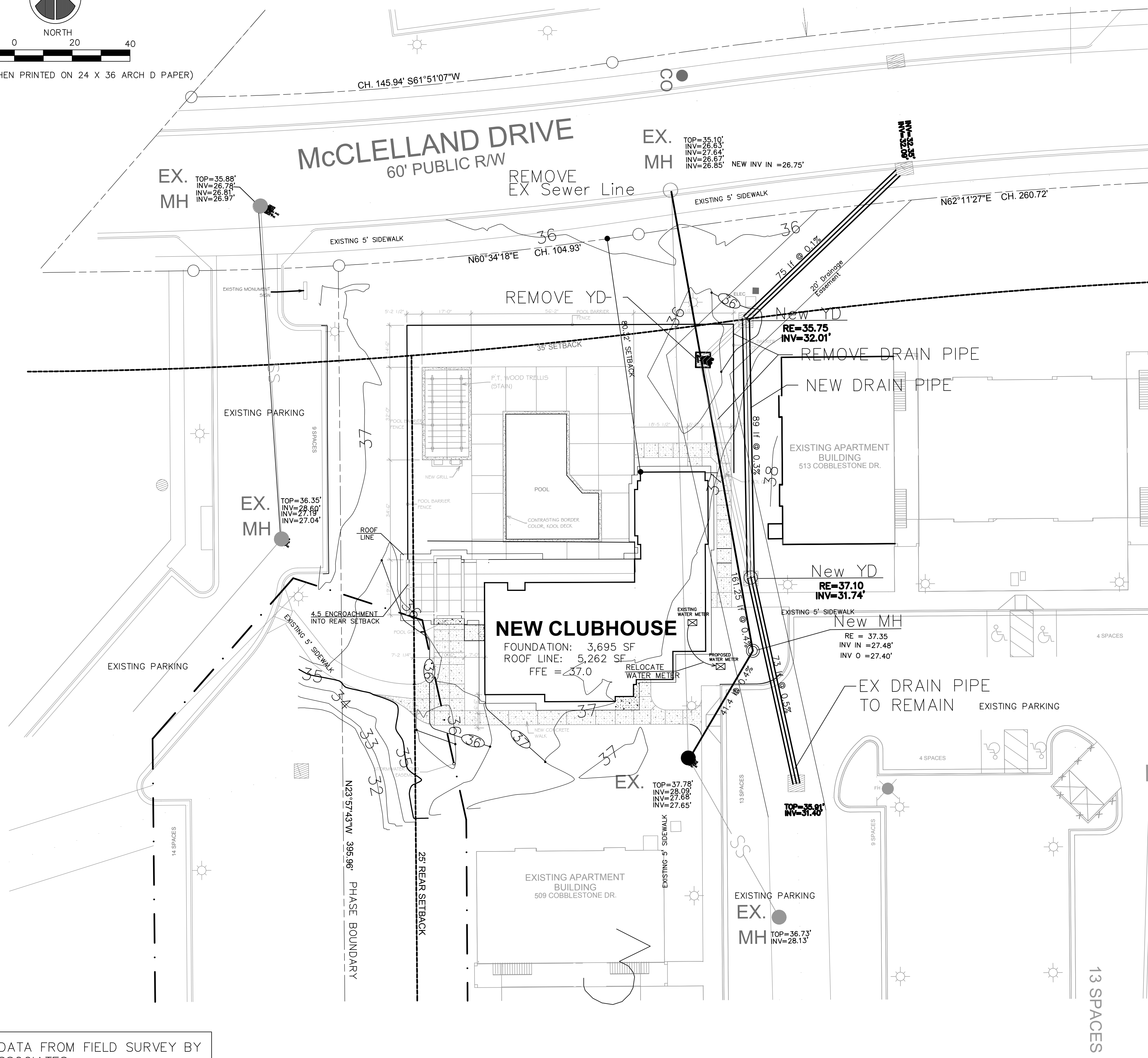
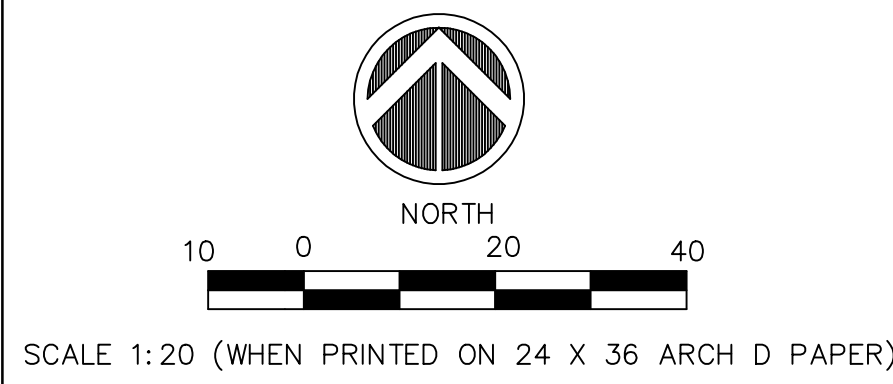
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DRAWN : R. LEWIS	PROJECT : 984-00
DESIGN : F. BRAXTON	NUMBER : 1
CHECK : J. PETROFF	SCALE : 1"=20'
APPROVED : F. BRAXTON	DATE : 08 JULY 2016
FILE NAME :	

ABBOTTS RUN APARTMENTS
 511 COBBLESTONE DRIVE
 WILMINGTON, NC

CLUBHOUSE REPLACEMENT
 DEMOLITION PLAN



TOPO DATA FROM FIELD SURVEY BY
ESP ASSOCIATES

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REVIEW ONLY**

PROPOSED SITE PLAN
SCALE:

WILMINGTON NORTH CAROLINA	
Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

WILMINGTON NORTH CAROLINA	
Public Services Engineering Division APPROVED DRAINAGE PLAN	
Date: _____	Permit # _____
Signed: _____	

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SITE DATA

OWNER: WILMINGTON AR HOUSING LLC
772 EAST MARKET STREET
SUITE 102
LEESBURG, VA 20176

PIN: R04911-001-022-000

PARCEL SIZE: 14.71 AC PROJECT (640,768 SF)

DEED: BK 5953 PG1832

ZONING: MF-M

CLASS: 12-3 + FAMILY RESIDENTIAL

CAMA LAND USE: URBAN

SETBACKS

BUILDING HEIGHT = 35'
FRONT SETBACK: 35'
REAR SETBACK: 25'
SIDE SETBACK: 20'
CORNER SIDE: 30'

PARCELS TO BE RECOMBINED TO ELIMINATE INTERNAL SETBACK LINES

PARKING DATA

RATIO	REQUIRED
1 BR: 1.5 SPACES/UNT =	180 SPACES
2-3 BR: 2.25 SPACES/UNIT =	324 SPACES
TOTAL	504 SPACES
TOTAL SITE SPACES:	528 SPACES
REQUIRE ADA SPACES @ 2% =	11 SPACES
PROVIDED ADA SPACES =	24 SPACES

EXISTING PARKING COUNT OBTAINED BY FIELD VERIFICATION

TOTAL NUMBER OF PARKING SPACES TO BE REDUCED BY 14 SPACES TO OFFSET INCREASED BUA. SPACES MAY BE CONVERTED TO A PREVIOUS MATERIAL APPROVED BY THE CITY AND NCDEQ.

BUILDING DATA

EXISTING BUILDING COVERAGE: 80,254 SF

NUMBER OF BUILDING

9 APARTMENT BLDGS + CLUBHOUSE

NUMBER OF UNITS

1 BR: 120 UNITS

2-3 BR: 144 UNITS

EX. SITE BUILDING COVERAGE: 12.5%

CLUBHOUSE EXPANSION

EXISTING FOOTPRINT: 1,598 SF

PROPOSE FOOTPRINT: 5,262 SF (3,664 DIF)

NEW BLDG COVERAGE: 83,918 SF

SITE BUILDING COVERAGE: 13.10%

STORMWATER DATA

NCDEQ PERMIT #SW8 990 720

PERMITTED BUA = 290,532 SF

EXISTING BUA = 290,532 SF

CLUBHOUSE EXPANSION

EXISTING BLDG AREA: 1,598 SF

EXISTING SIDEWALKS: 1,737 SF

TOTAL 3,912 SF

PROPOSED BLDG AREA: 5,262 SF

PROPOSED SIDEWALKS: 2,008 SF

TOTAL 7,270 SF

OVERAGE OF BUA: 3,358 SF

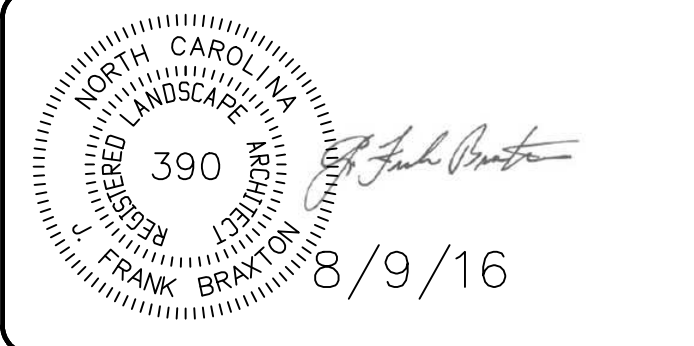
THE PROPOSED BUA WILL EXCEED THE PERMIT ALLOWANCE AND COMPLIANCE TO THE NCDEQ STORMWATER PERMIT WILL REQUIRE A 3,358 SF OFFSET. THE CONVERSION OF A 20 SPACE PARKING AREA IS REQUIRED TO ADDRESS BOTH NCDEQ REQUIREMENT.

SEE SHEET SP.01 FOR PARKING SPACE CONVERSION LOCATION AND SIZE



LEGEND:

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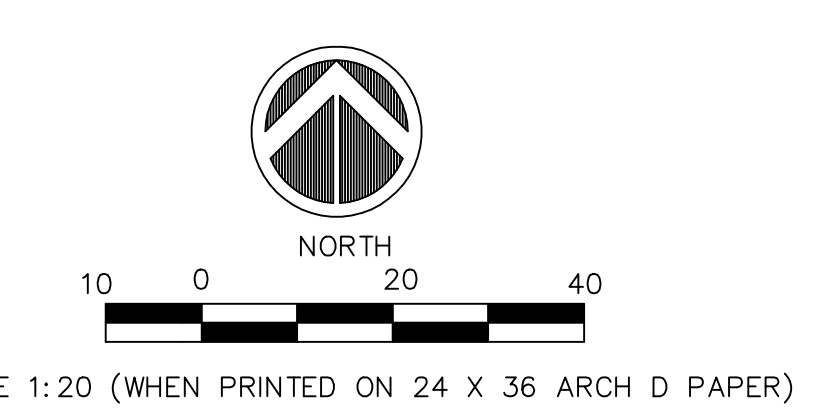
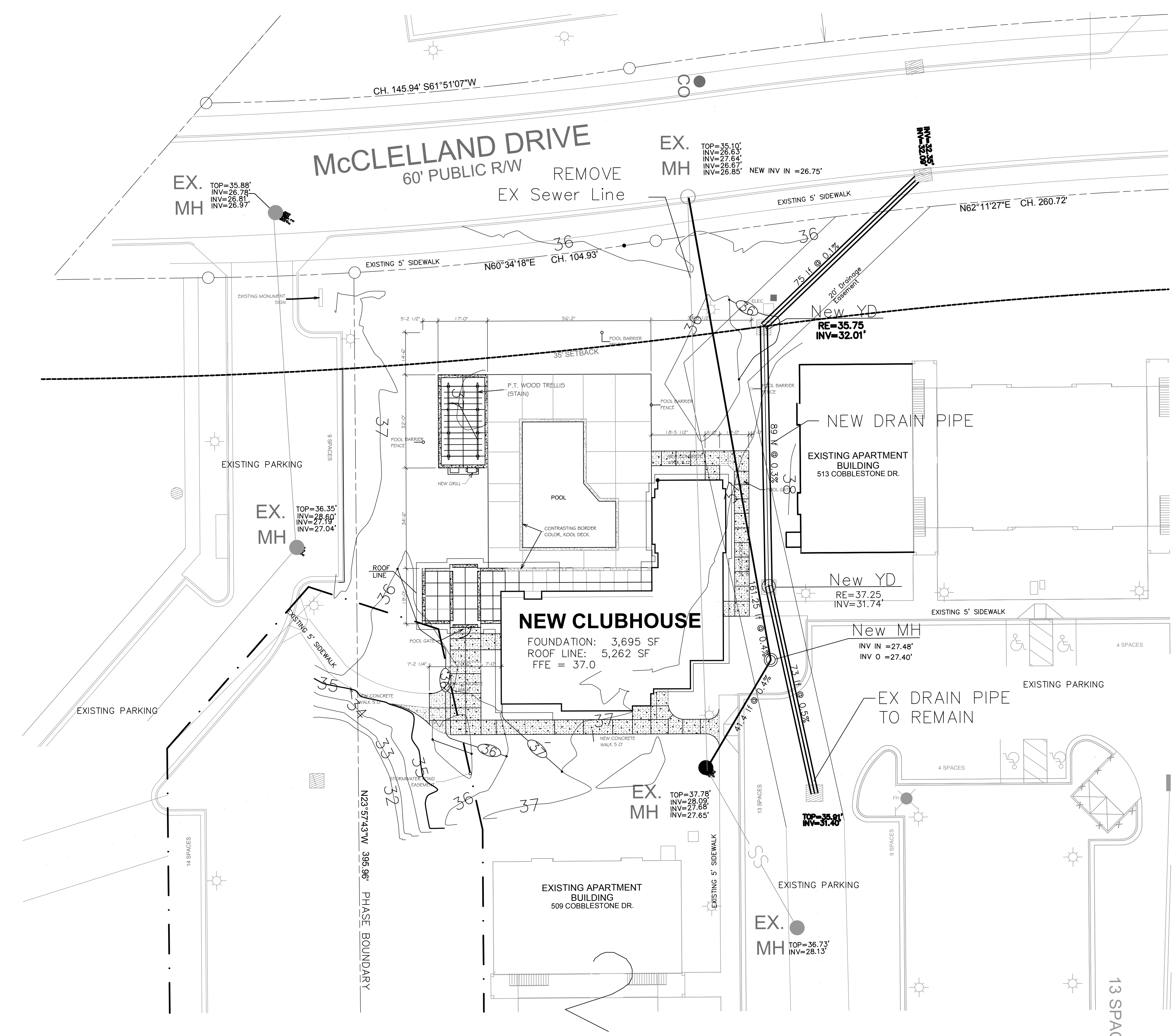


DRAWN : R. LEWIS	PROJECT : 984-00
DESIGN : F. BRAXTON	NUMBER : 1
CHECK : J. PETROFF	SCALE : 1"=20'
APPROVED : F. BRAXTON	DATE : 08 JULY 2016
FILE NAME :	

ABBOTTS RUN APARTMENTS
511 COBBLESTONE DRIVE
WILMINGTON, NC

**CLUBHOUSE REPLACEMENT
SITE PLAN**

JOB NUMBER SHEET NUMBER
SP.04



SITE DATA

OWNER: WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURG, VA 20176

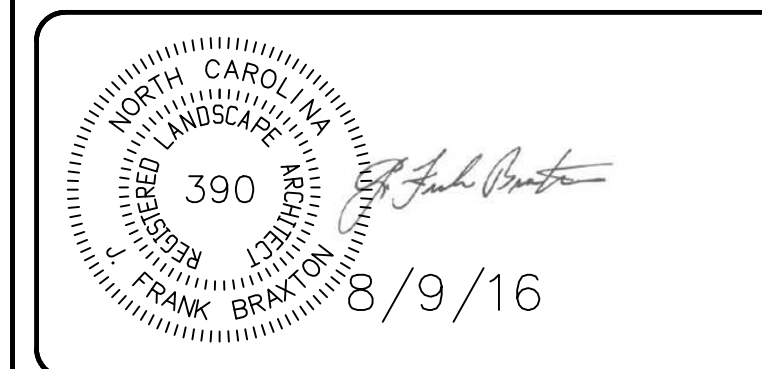
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 ZONING: MF-M
 CLASS: 12-3 + FAMILY RESIDENTIAL
 CAMA LAND USE: URBAN

UTILITY RELOCATIONS ARE SHOWN FOR REFERENCE ONLY. ENGINEERED PLANS ARE SUBJECT TO APPROVAL BY CFPUA.



LEGEND:

REV. #	DESCRIPTION	REV. BY
	REVISIONS	DATE



WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURY, VA 28405

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License No: P-0389
 P.O. Box 1172
 Wilmington, NC 28402 www.clddesign.com Phone: 910-254-6333 Fax: 910-254-6322

DRAWN : R. LEWIS	PROJECT : 984-00
DESIGN : F. BRAXTON	NUMBER : 1"
CHECK : J. PETROFF	SCALE : 1"=20'
APPROVED : F. BRAXTON	DATE : 08 JULY 2016
FILE NAME :	

ABBOTTS RUN APARTMENTS
 511 COBBLESTONE DRIVE
 WILMINGTON, NC

CLUBHOUSE REPLACEMENT
 UTILITY RELOCATION PLAN

JOB NUMBER SHEET NUMBER
 SP.05

TOPO DATA FROM FIELD SURVEY BY
 ESP ASSOCIATES

GENERAL UTILITY NOTE:
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FROM THE UTILITY COMPANY AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE BROUGHT TO THE OWNERS AND ENGINEERS ATTENTION IMMEDIATELY.

PRELIMINARY DESIGN
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 CONSTRUCTION

ISSUED FOR AGENCY
 REVIEW ONLY

PROPOSED CLUBHOUSE EXPANSION
 SCALE:

City of WILMINGTON, NORTH CAROLINA
 Approved Construction Plan

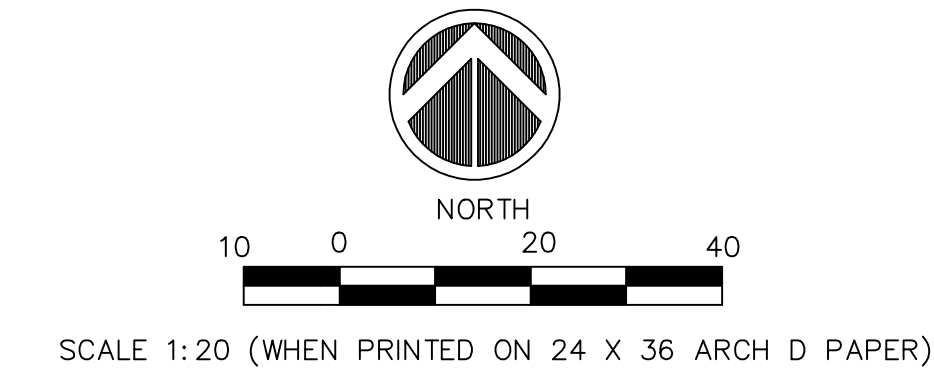
Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

City of WILMINGTON, NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



SITE DATA

OWNER: WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURG, VA 20176

PIN: R04911-001-022-000
 PARCEL SIZE: 14.71 AC PROJECT (640,768 SF)
 DEED: BK 5953 PG1832
 ZONING: MF-M
 CLASS: 12-3 + FAMILY RESIDENTIAL
 CAMA LAND USE: URBAN

LEGEND:

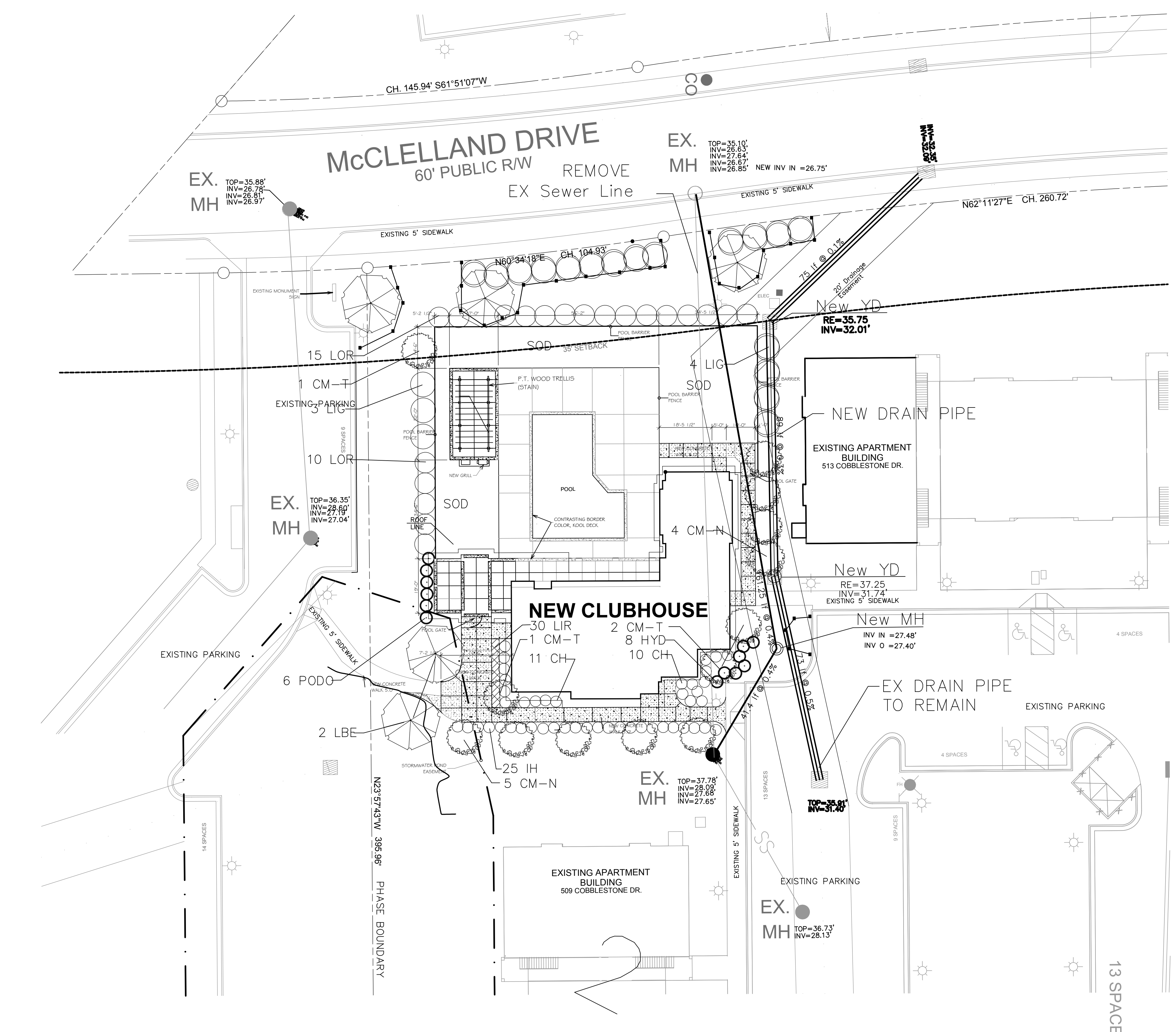
REV. #	DESCRIPTION	REV. BY
	REVISIONS	DATE



WILMINGTON AR HOUSING LLC
 772 EAST MARKET STREET
 SUITE 102
 LEESBURY, VA 28405

PLANT LIST

BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	REMARKS	QUANTITY	SYMBOLS
TREES						
ULMUS PARVIFOLIA	LACEBARK ELM	2.5		B&B	2	LBE
LAGERSTROEMIA "MATCHES"	GRAPE MYRTLE "MATCHES"		8-10'		8	CM-N
LAGERSTROEMIA "TUSKEGEE"	GRAPE MYRTLE "TUSKEGEE"		8-10'		4	CM-T
SHRUBS						
RAPIHOLEPIS UMBRELLATA	INDIAN HAWTHORN "BLUE MUFFIN"		3 GAL		25	IH
ILEX CORNUTA "CARISSA"	CARISSA HOLLY		3 GAL		21	CH
LIGUSTRUM JAPONICUM	JAPANESE LIGUSTRUM		6-8"		7	LIG
PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW PODOCARPUS		7 GAL		6	PODO
HYDRANGEA PANICULATA "LIMELIGHT"	LIMELIGHT HARDY HYDRANGEA		3 GAL		8	HYD
LOROPETALUM CHINENSE "RUBY"	RUBY RED LOROPETALUM		7 GAL		25	LOR
GROUND COVER						
LIRIOPE MUSCARI	BIG BLUE LIRIOPE		18" OC	1 QT.	30	LIR
SOD	EMERALD GREEN ZOYSIA					



TOPO DATA FROM FIELD SURVEY BY
 ESP ASSOCIATES

PROPOSED CLUBHOUSE EXPANSION

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WILMINGTON
 NORTH CAROLINA

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

WILMINGTON
 NORTH CAROLINA

Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

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DRAWN : R. LEWIS PROJECT : 984-00
 DESIGN : F. BRAXTON NUMBER :
 CHECK : J. PETROFF SCALE : 1"=20'
 APPROVED : F. BRAXTON DATE : 08 JULY 2016
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**ABBOTTS RUN APARTMENTS
 511 COBBLESTONE DRIVE
 WILMINGTON, NC**

**CLUBHOUSE REPLACEMENT
 SITE PLAN**

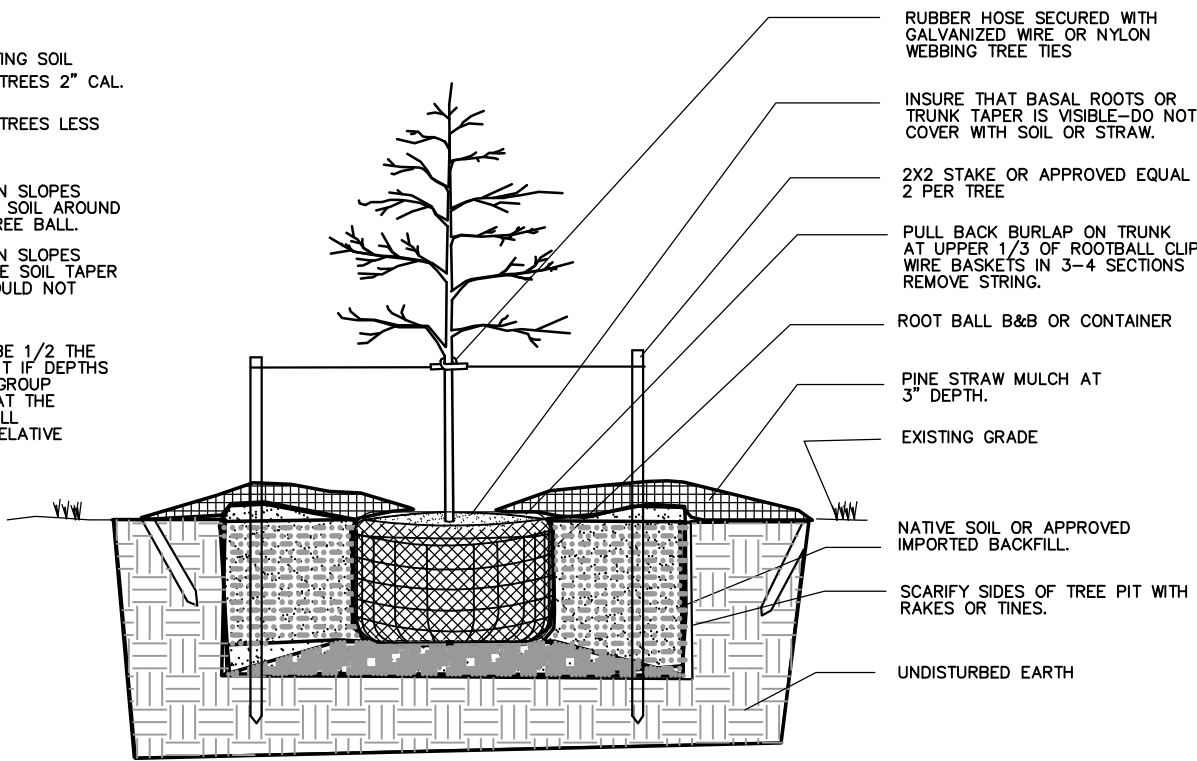
NOTES

SCARPING OF EXISTING SOIL
3" RADII MIN. FOR TREES 2" CAL.
OR GREATER
1" RADII MIN. FOR TREES LESS
THAN 2" CALIPER

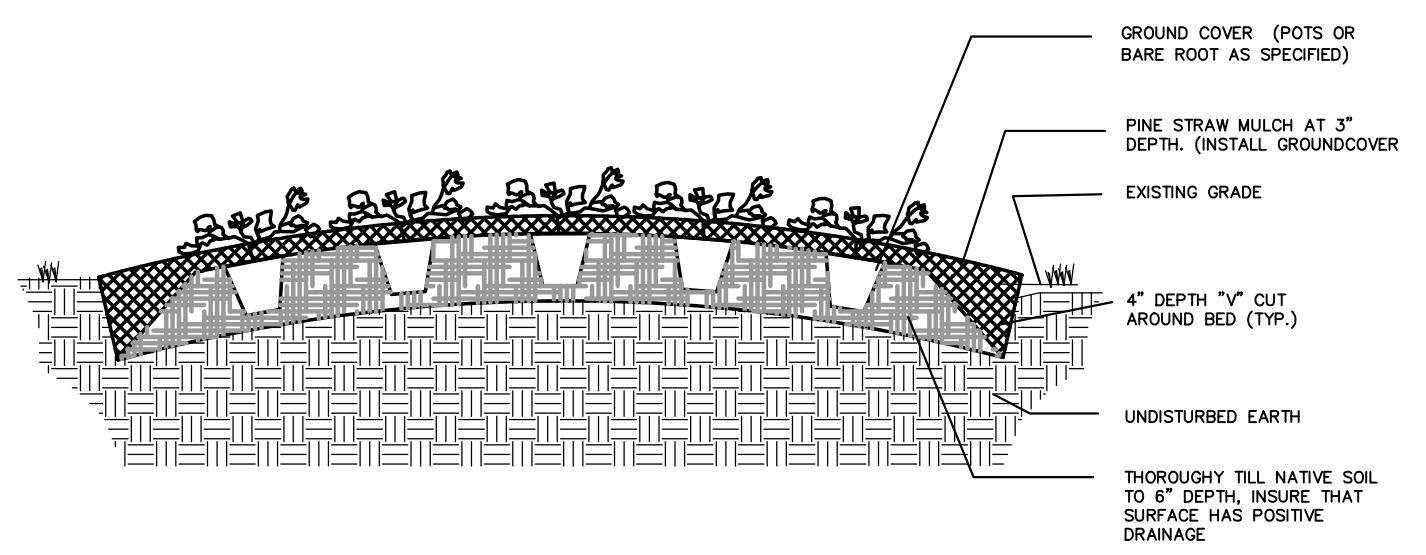
FOR TREES PLANTED ON SLOPES
LESS THAN 3:1, TAPER SOIL AROUND
TREE 1.5X WIDTH OF TREE BALL

FOR TREES PLANTED ON SLOPES
GREATER THAN 3:1, THE SOIL TAPER
AROUND THE TREE SHOULD NOT
EXCEED 2:1.

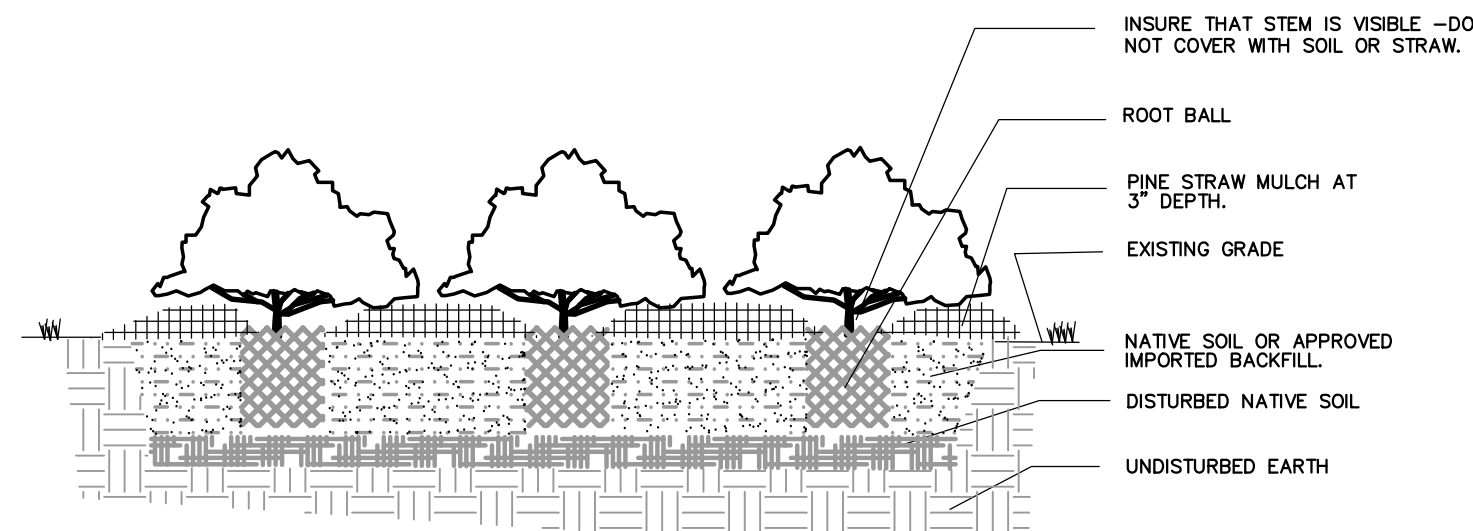
BALL DEPTH SHOULD BE 1/2 THE
BALL ABOVE GRADE, BUT IF ROOTS
VARY ALL TREES IN A GROUP
SHOULD BE SET SO THAT THE
BASE OF THE TRUNK WILL
APPEAR TO BE SAME RELATIVE
ELEVATION.



PLANTING DETAIL NOT TO SCALE
SMALL TREE
1" - 2.5" CALIPER



PLANTING DETAIL NOT TO SCALE
GROUND COVER



PLANTING DETAIL NOT TO SCALE
SHRUB

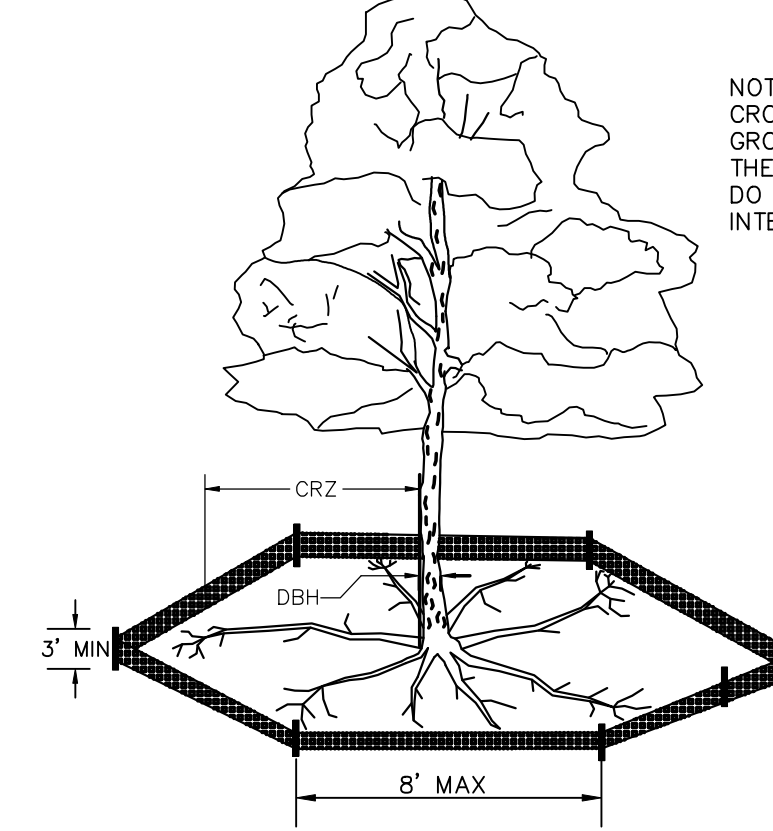
LANDSCAPE NOTES

- ALL LANDSCAPE MATERIAL MUST BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
- CONTRACTOR SHALL NOT SUBSTITUTE FOR ANY OF THE PLANT MATERIAL THAT IS SPECIFIED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- MULCH UNDER ALL PROPOSED TREES AND SHRUBS WITH PINE NEEDLES AT A 3"-4" DEPTH OR APPROVED EQUAL.
- PLANT SIZES INDICATED SPECIFY MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND HT. SIZES ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS MUST BE MET.
- HERE SHALL BE AT LEAST A 3 FT. SEPARATION BETWEEN LANDSCAPED AREAS AND PARKING AREAS TO ALLOW VEHICLE OVERHANG.
- ALL PLANTINGS USED TO SCREEN THE DRIVES AND PARKING AREAS FROM ADJOINING ROADWAYS WILL NEED TO BE A MINIMUM OF 24" HIGH AT TIME OF PLANTING.
- ALL OTHER AREAS NOT BEING MULCHED TO BE SEEDED PER SEEDING SCHEDULE INCLUDED AS PART OF THE S&E PLANS.
- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:

- FERTILIZATION**
TREES SHRUBS AND GRASSES AREAS
BROADCAST A SLOW RELEASE FERTILIZER OVER THE MULCHED BEDS AT THE RECOMMENDED RATES AS SHOWN ON THE BAGS, ONCE MID-FEBRUARY AND ONCE MID-SEPTEMBER. THOROUGH WATERING IS REQUIRED UPON COMPLETION.
- PRUNING WITHIN LIMITS**
PRUNING WHEN NECESSARY, WILL BE DONE TO MAINTAIN THEIR NORMAL GROWTH PATTERN AND TO REMOVE DEAD OR DISEASED PLANT MATERIAL. THERE SHALL BE NO TOPPING OF TREES.
- PEST CONTROL (OPTIONAL)**
WEED CONTROL TO BE PROVIDED EARLY FEBRUARY, APRIL, JUNE, AUGUST AND OCTOBER IN THE SHRUB/TREE BEDS AND IN THE LAWN AREAS. INSECT DAMAGE SHALL BE TREATED WHEN NECESSARY TO PREVENT DAMAGE TO VEGETATION.
- MULCHING**
ALL AREAS AROUND THE BUILDING FOUNDATION AND SHRUB/TREE BEDS SHALL BE RE-MULCHED SO THAT THEY CONTAIN A MIN. DEPTH OF TWO INCHES AND A MAXIMUM DEPTH OF THREE INCHES. MULCH USED SHALL EQUAL WHICH WAS SUPPLIED DURING THE INSTALLATION OF THE PLANTS.
- MOWING**
MOWING SHALL BE DONE AS NECESSARY TO KEEP GRASS AT THE APPROPRIATE HEIGHT TO INSURE A HEALTHY GROWTH PATTERN.
- PROTECTION OF ROOT ZONES**
TREE/SHRUB ROOT ZONES SHOULD BE PROTECTED FROM FUTURE CONSTRUCTION AND EQUIPMENT AS MUCH AS POSSIBLE TO AVOID DAMAGE OR COMPACTION TO THE ROOT AREAS.
- WATERING SCHEDULE FOR IRRIGATION SYSTEM**
MAINTENANCE SHALL INCLUDE A THOROUGH INITIAL WATERING WITH WEEKLY WATERINGS THEREAFTER FOR THE FIRST 30 DAYS. WATERINGS THEREAFTER BE ON AN AS NEEDED SCHEDULE PER LOCAL CONDITIONS.
- STAKE AT WIRE REMOVAL**
AT THE END OF THE FIRST YEAR ALL PLANT STAKING AND GUYING SYSTEMS SHALL BE REMOVED.
- PROTECTED TREE REGULATION**
PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

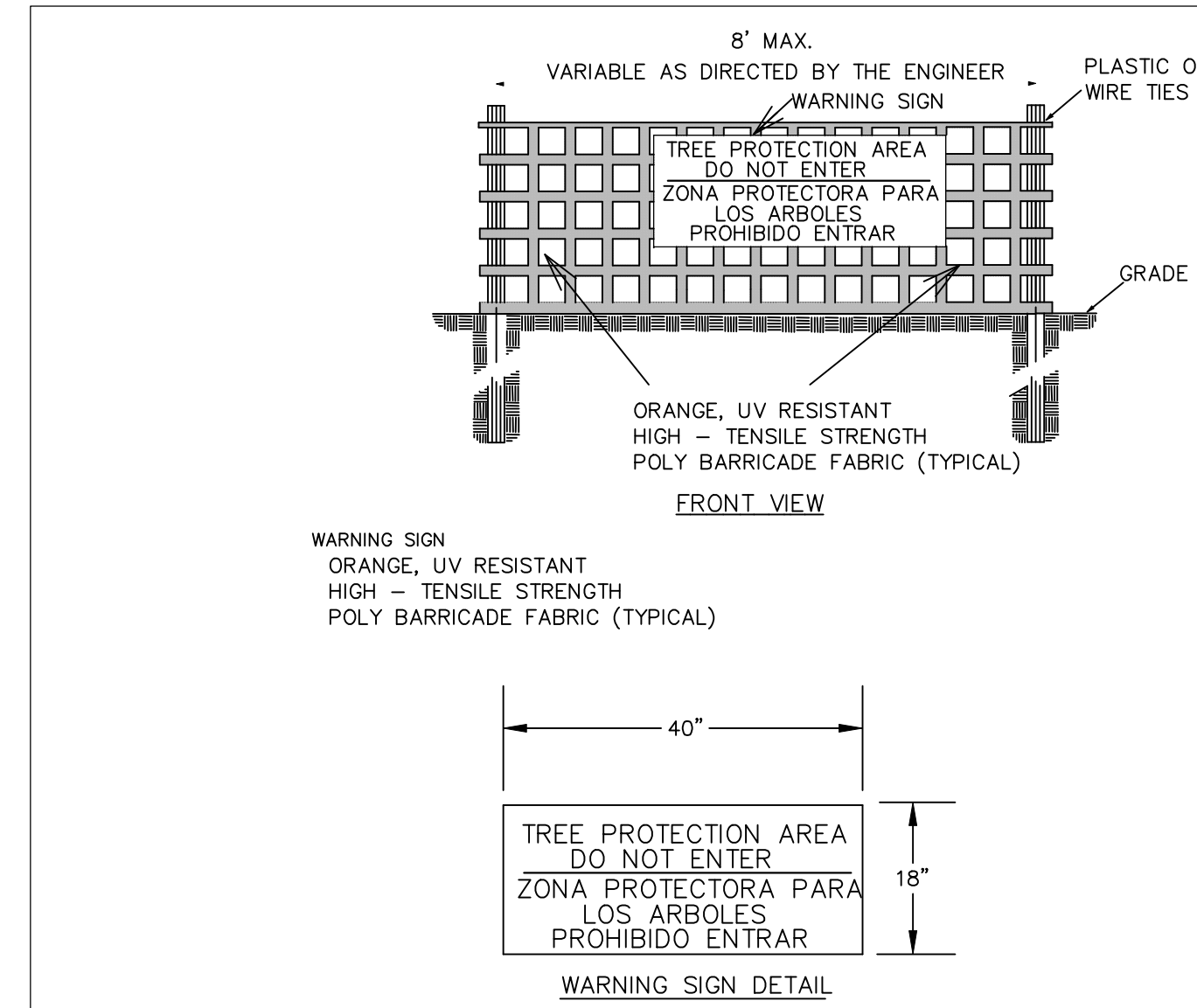
TREE PROTECTION DETAIL NOT TO SCALE

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.



- NOTES:**
- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILLED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 - TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

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LEGEND:

City of WILMINGTON
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

City of WILMINGTON
Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

REV. #	DESCRIPTION	REV. BY	DATE
	REVISIONS		

Professional Seal:
NORTH CAROLINA LANDSCAPE ARCHITECT
390
FRANK BRAXTON
8/9/16

WILMINGTON AR HOUSING LLC
772 EAST MARKET STREET
SUITE 102
LEESBURY, VA 28405

Coastal Land Design, PLLC
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NCBELS Firm License No: P-0096
P.O. Box 1172
Wilmington, NC 28402 www.ctdang.com Phone: 910-254-9333 Fax: 910-254-0502

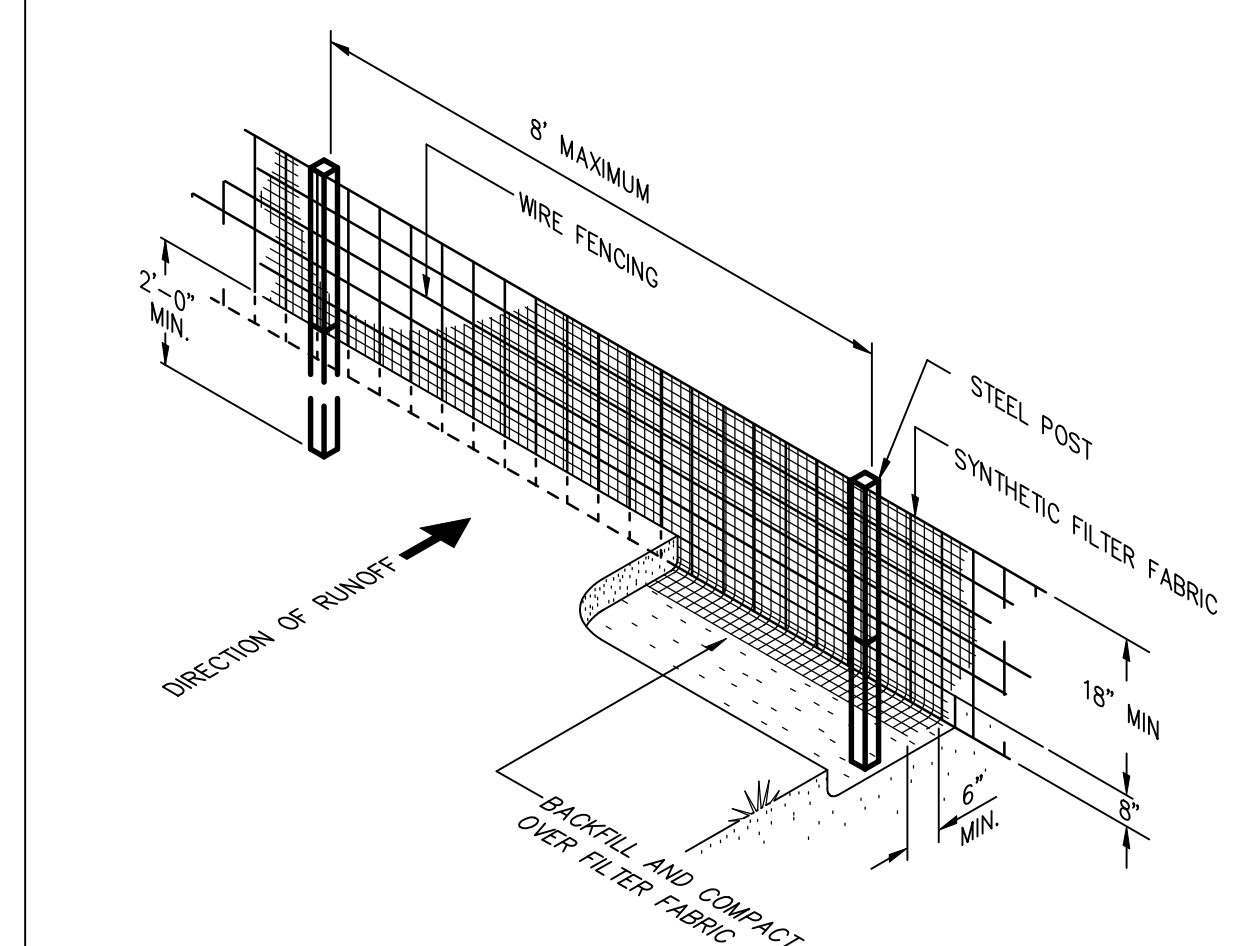
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DESIGN : F. BRAXTON	NUMBER :
CHECK : J. PETROFF	SCALE : 1"=20'
APPROVED : F. BRAXTON	DATE : 08 JULY 2016
FILE NAME :	

ABBOTTS RUN APARTMENTS
511 COBBLESTONE DRIVE
WILMINGTON, NC

**CLUBHOUSE REPLACEMENT
DETAILS**

JOB NUMBER	SHEET NUMBER
	SP.08

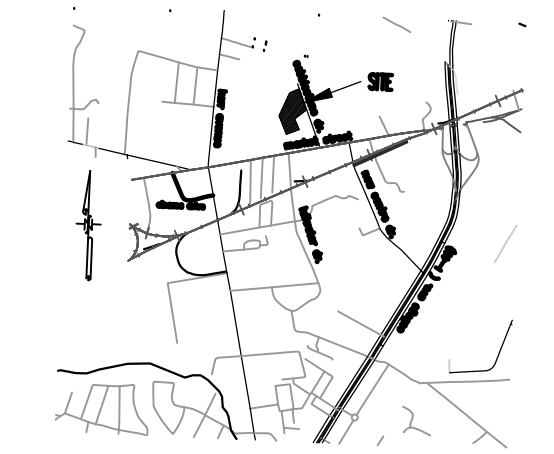
SILT FENCE DETAIL NOT TO SCALE



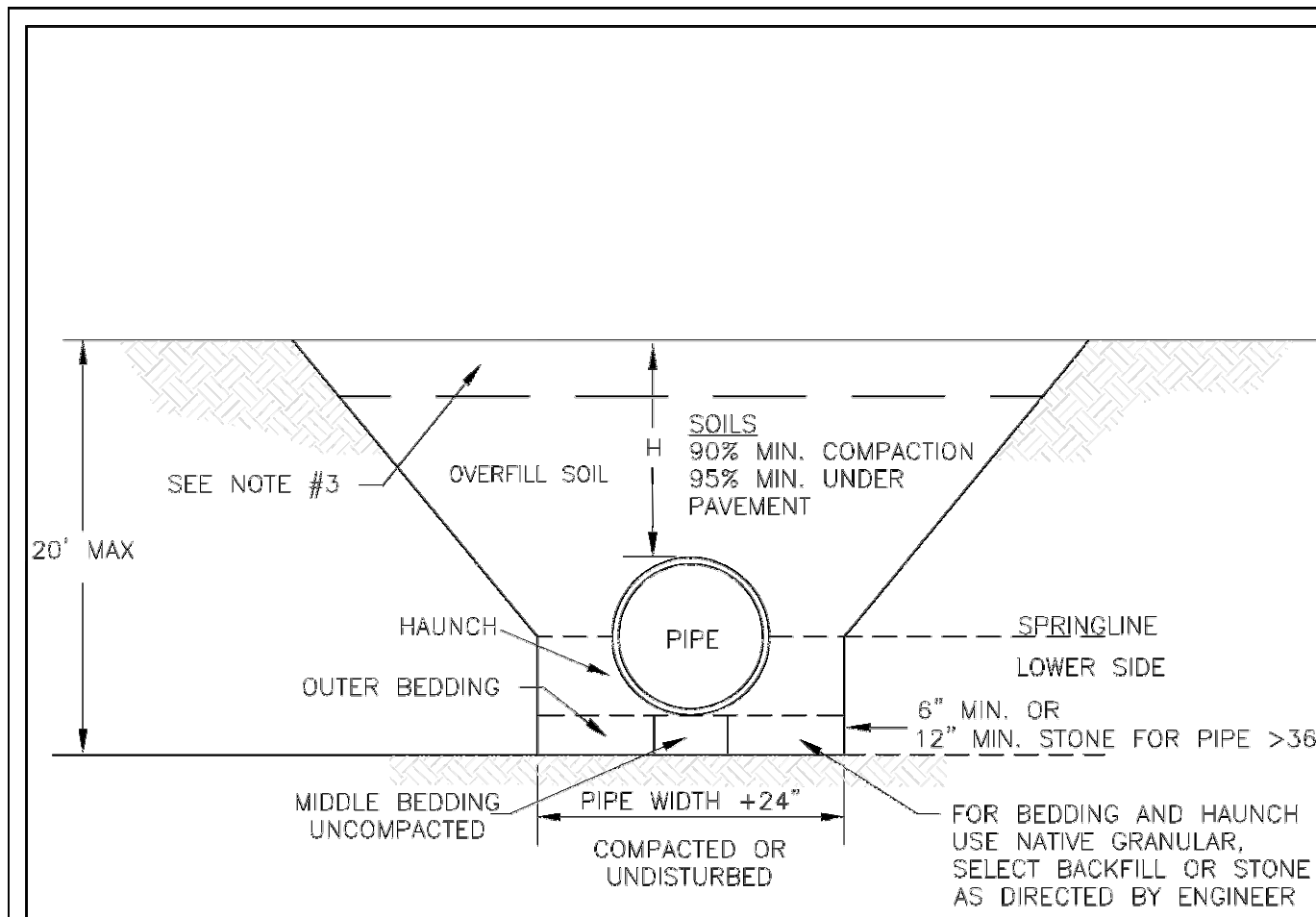
- SEDIMENT FENCE CONSTRUCTION SPECIFICATIONS:**
- SILT FENCE IS TO BE TRENCHED IN WITH TRENCHING MACHINE IN ORDER TO HAVE THE MINIMUM AREA OF DISTURBANCE (NON-EVASIVE) UPON INSTALLATION.
 - HEIGHT OF SEDIMENT FENCE IS NOT TO EXCEED 18" ABOVE THE GROUND SURFACE
 - FILTER FABRIC TO BE CONSTRUCTED FROM CONTINUOUS ROLL CUT TO LENGTH TO AVOID JOINTS. IF JOINTS ARE NECESSARY, FILTER CLOTH IS TO BE SECURELY FASTENED TO SUPPORT POST WITH OVERLAP TO THE NEXT POST.
 - FILTER FABRIC TO BE SUPPORTED BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY STAPLES AT LEAST 1" LONG OR TIE WIRES. EXTEND WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH.
 - A MAXIMUM OF 8' STAKE SPACING IS ALLOWED WHEN WIRE MESH SUPPORT FENCE IS USED. SUPPORT POST SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
 - EXTRA STRENGTH FILTER FABRIC WITH 6' POST SPACES DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. STAPLE OR WIRE THE FILTER FABRIC DIRECTLY TO POSTS.
 - EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - BACKFILL TRENCH WITH COMPACT SOIL OR GRAVEL PLACED OVER THE FILTER FABRIC.
 - DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.
- SEDIMENT FENCE MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP EVERY 60 DAYS.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

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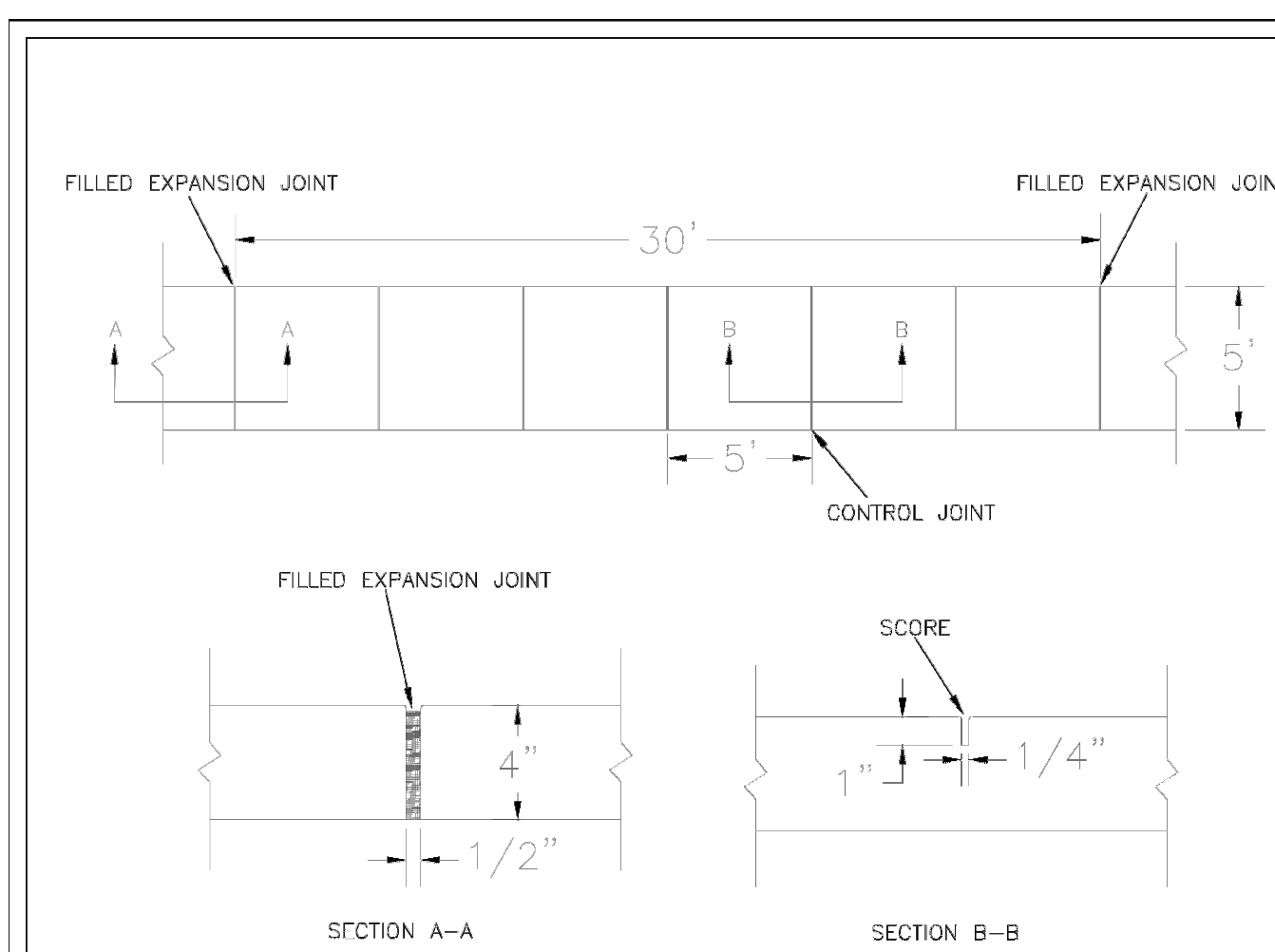
LEGEND:



NOTES:

- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR PIPE INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
- CONTRACTOR TO INSTALL BEDDING AND PIPE BEFORE INSTALLING HAUNCH AND THEN OVERFILL. SOILS SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED TO MIN. % DENSITY AS DETERMINED BY THE STANDARD PROCTOR ASTM D-698-A METHOD.
- WHERE IN PAVEMENT, CONTRACTOR SHALL ADHERE TO CITY STREET CUT POLICY AND SD 1-04 OR SD 1-05 FOR ROAD AND PAVEMENT REBUILD.
- SOIL SHALL BE COMPACTED BY A MECHANIZED TAMP (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
- THIS DETAIL IS REPRESENTATIVE AND PIPE TRENCH DESIGN IS SUBJECT TO SPECIFIC SOIL CATEGORY (I, II, III), AND INSTALLATION TYPE (1, 2, 3, 4), AS DIRECTED BY THE ENGINEER AND SITE CONDITIONS.

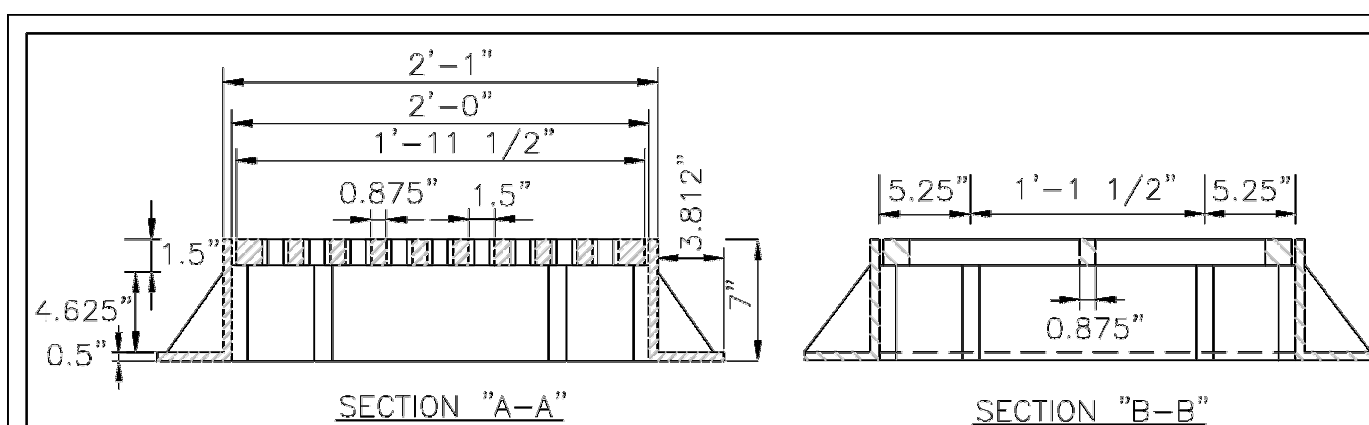
DATE: MAY, 2013	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING OFFICE 212 OPERATIONS CENTER DRIVE WILMINGTON, N.C. 28412 (910) 341-7807</p>	SD 1-07
DRAWN: JSR	PIPE TRENCH TYPICAL		
CHECKED: BJR, P.E.			
SCALE: NOT TO SCALE			



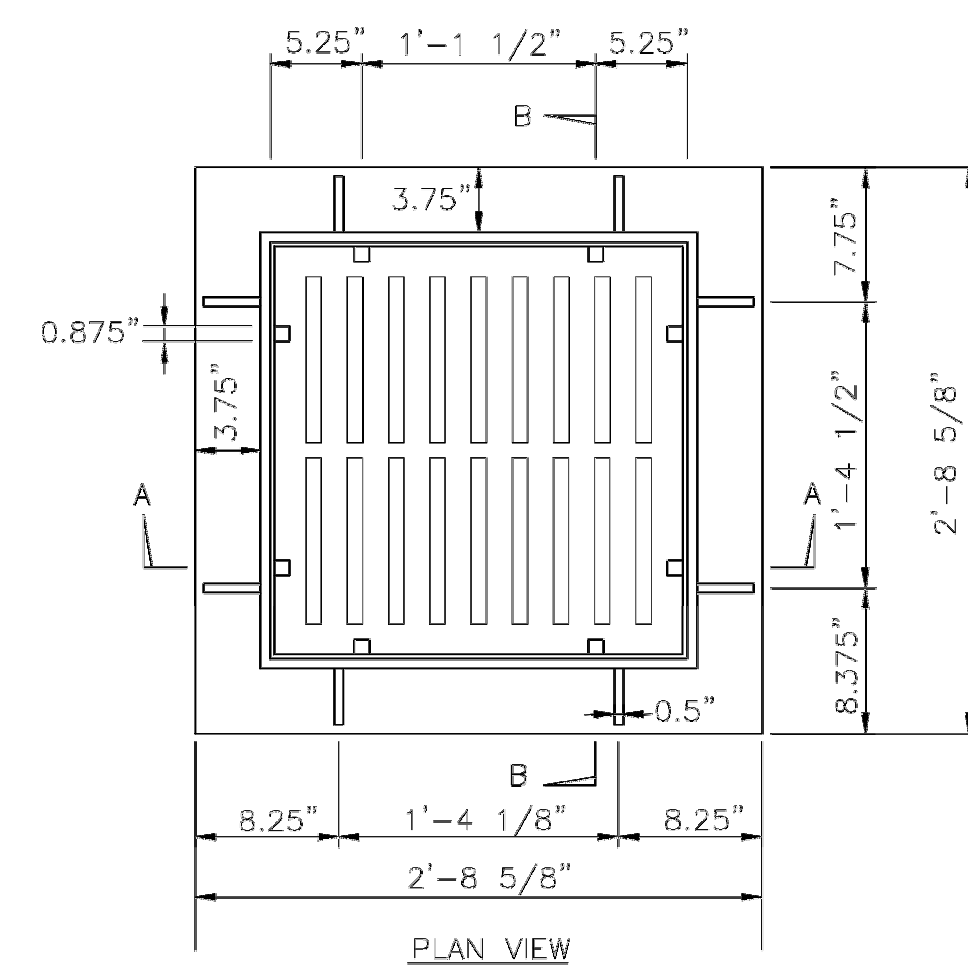
NOTES:

- JOINT MATERIAL TO COMPLY WITH CURRENT ACDOT STANDARDS.
- SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE UDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
- MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
- CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
- MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
- 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
- MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
- MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
- MIN GRADE FOR PROPER DRAINAGE IS 1/8" IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2% MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

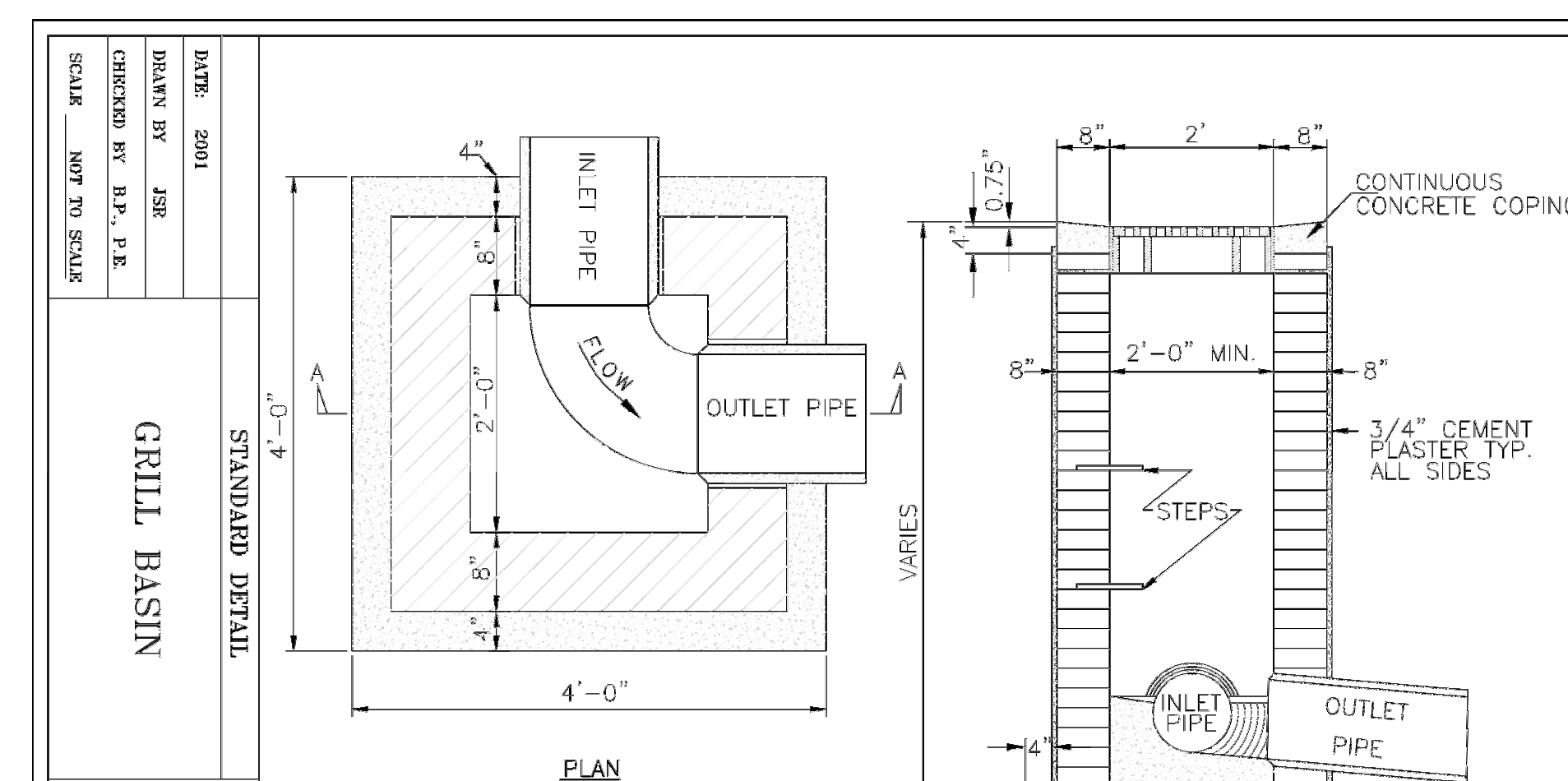
DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-10
DRAWN: FBJSR	SIDEWALK		
CHECKED: DEC			
SCALE: NOT TO SCALE			



MINIMUM AVERAGE WEIGHT
FRAME 195 LBS.
GRATE 145 LBS.



DATE: 2001	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 14-04
DRAWN BY: JSR/CMR	GRILL BASIN CASTINGS		
CHECKED BY: B.F., P.E.			
SCALE: NOT TO SCALE			



NOTE:
FRAME AND GRATE TO BE STANDARD CITY OF WILMINGTON CAST IRON FRAME AND GRATE PER SD 14-04.

DATE: 2001	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 2-02
DRAWN BY: JSR	GRILL BASIN		
CHECKED BY: B.F., P.E.			
SCALE: NOT TO SCALE			

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Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

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	REVISIONS	DATE

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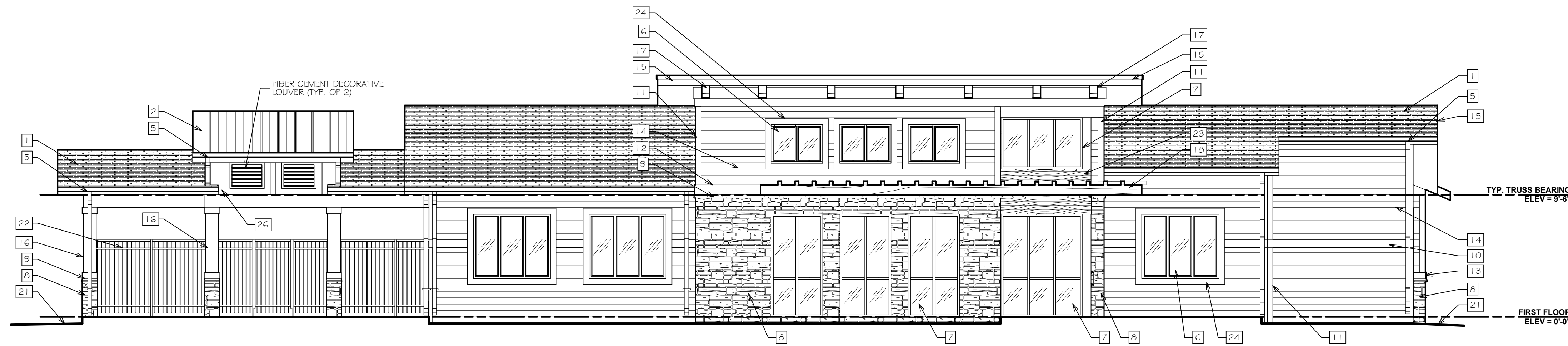
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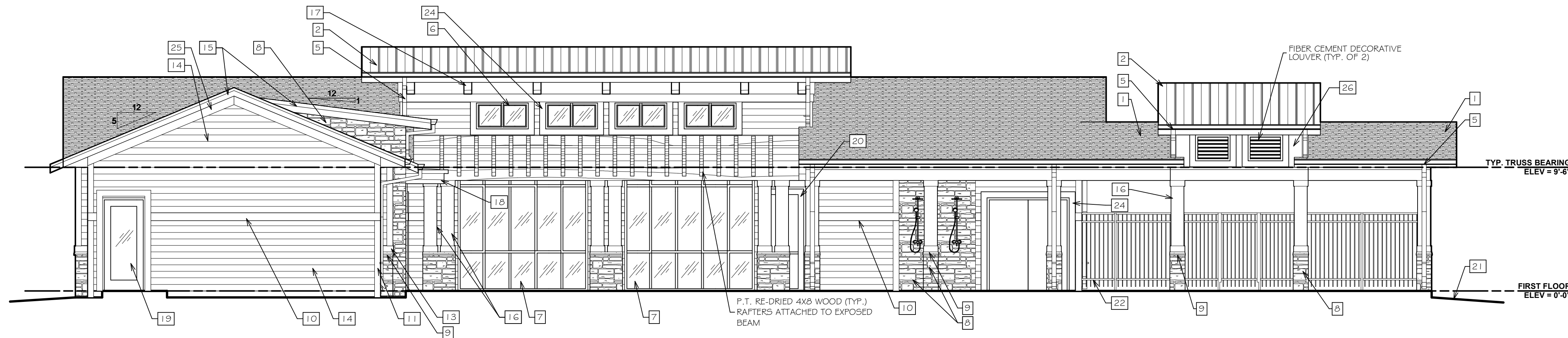
ABBOTTS RUN APARTMENTS
511 COBBLESTONE DRIVE
WILMINGTON, NC

CLUBHOUSE REPLACEMENT
DETAILS 2

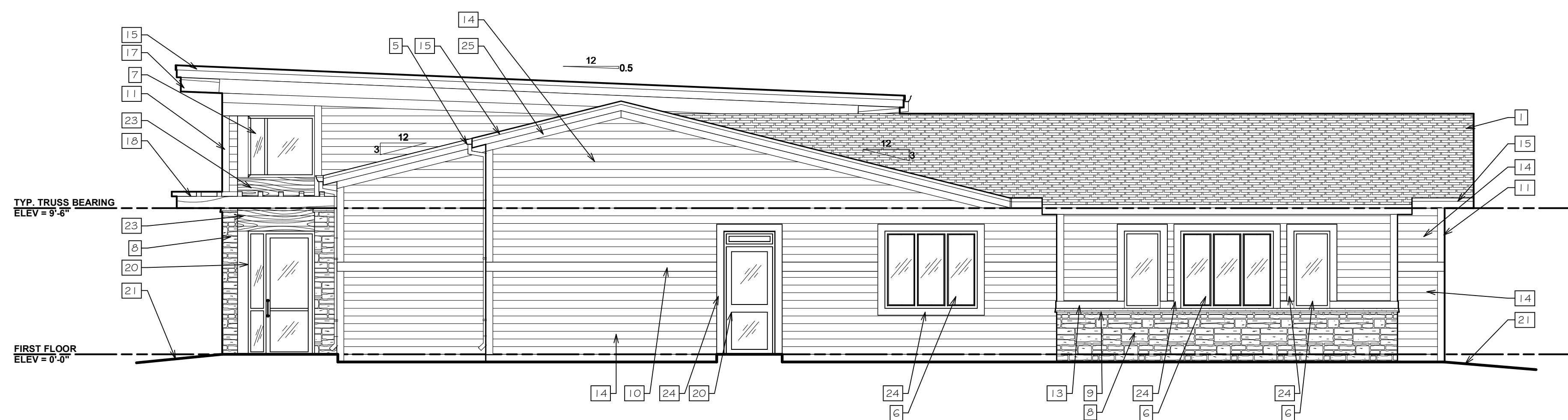
JOB NUMBER	SHEET NUMBER
	SP.09



A
A201
EAST ELEVATION
SCALE: 3/16" = 1'-0"



B
A201
WEST ELEVATION
SCALE: 3/16" = 1'-0"



C
A201
NORTH ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES

1. 30 YEAR FIBERGLASS SHINGLES
2. PRE-FIN. STANDING SEAM METAL ROOFING
3. EXTERIOR LIGHT FIXTURE (SEE ELECTRICAL DWG'S)
4. ELECTRICAL METER CENTER (SEE ELEC. DWG'S)
5. PRE-FIN. MTL. GUTTER AND DOWNSPOUT
6. ALUM. CLAD WOOD WINDOW
7. ALUM. STOREFRONT SYSTEM, REFER TO ELEVATIONS SHEET AGO1
8. CULTURED STONE VENEER
9. CULTURED STONE WATERTABLE
10. 5/4 X 8 FIBER CEMENT WALL BAND
11. 5/4 X 6 FIBER CEMENT TRIM
12. 5/4 X 10" FIBER CEMENT SKIRT BOARD
13. 5/4 X 6" FIBER CEMENT SKIRT BOARD
14. FIBER CEMENT LAP SIDING WITH 6" EXPOSURE
15. 1X FIBER CEMENT FASCIA AND MTL. DRIP EDGE
16. 12" CELLULAR PVC COLUMN SURROUND WITH 9 1/4" PVC BASE AND CAPITAL, (CHADSWORTH - SQUARE NON-TAPERED) OR EQUAL
17. GLU-LAM BEAMS (ARCHITECTURAL GRADE LUMBER) STAIN AND SEAL FINISH
18. SUNSHADE STRUCTURE; P.T. AND RE-DRIED 4X10 BEAM AND WALL STUDS WITH 4X4 HORIZ. LOUVERS (STAIN AND SEAL)
19. EXTERIOR INSULATED MTL. DOOR
20. ALUM. DOOR AND FRAME (REFER TO OPENING SCHED. SHT AGO1)
21. APPROX. FINISHED GRADE
22. ALUM. POOL BARRIER FENCE, REFER TO DETAIL 1/AO02
23. 1XG SHIPLAP CEDAR SIDING, WITH 3/8" SHADOW GAP, STAIN AND SEAL FINISH
24. 5/4 X 6 FIBER CEMENT WINDOW/DOOR SURROUND TRIM
25. 5/4 X 8 FIBER CEMENT RAKE BOARD
26. 5/16" FIBER CEMENT PANEL

EXTERIOR MATERIALS LEGEND

- FIBER CEMENT SOFFIT:**
 MANUF.: JAMES HARDIE BUILDING PRODUCTS, INC.
 PRODUCT STYLES: A. VENTED SMOOTH (HARDIESOFFIT) B. NON-VENTED SMOOTH (HARDIESOFFIT) C. BEADED PORCH PANEL (HARDIESOFFIT)
 PROFILE: 25"
 FINISH: FACTORY PRIMED. FINISH W/ 100% ACRYLIC EXTERIOR PAINT (2 COATS MIN.)
 COLOR: T.B.D.
 FASTENERS: PER MANUF. RECOMMENDATIONS
- FIBER CEMENT SIDING:**
 MANUF.: JAMES HARDIE BUILDING PRODUCTS, INC.
 PRODUCT: A. HARDIE TRIM BOARDS (SIZE INDICATED ON DRAWINGS) B. 5/16" THICK LAP SIDING W/ 6" EXPOSURE (HARDIPLANK) C. 5/16" PANEL (HARDIPANEL VERTICAL SIDING)
 FINISH: FACTORY PRIMED. FINISH W/ 100% ACRYLIC EXTERIOR PAINT (2 COATS)
 FASTENERS: PER MANUF. RECOMMENDATIONS
- CULTURED STONE SIDING:**
 MANUF.: ELDRADO STONE, INC.
 PRODUCT: CULTURED STONE SYSTEM (LEDGECUT33)
 FINISH: T.B.D.
 FASTENERS: PER MANUF. RECOMMENDATIONS
 ACCESSORIES: WAINSCOT SILL (SPILT EDGE) DRYSTACK TECHNIQUE
 SUBSTRATE: MORTAR BED ON WIRE MESH AND SCRATCH COAT, ON 1/2" CEMENT BOARD (VERIFY WITH MANUF.)

- ROOF ASSEMBLY DESCRIPTION:**
- FIBERGLASS SHINGLES -**
 ROOFING: GRANULAR SURFACED, FIBERGLASS REINF. ASPHALT SHINGLE
 MANUF.: GAF MATERIALS CORPORATION
 PRODUCT: TIMBERLINE HD
 COLOR: TO BE SELECTED FROM MANUF. FULL LINE
 TRIM: .032 KYNAR COATED ALUMINUM (COLOR T.B.D.)
 FLASHINGS: .032 KYNAR COATED ALUMINUM (COLOR T.B.D.)
 ACCESSORIES: PROVIDE STANDARD ACCESSORIES AND ITEMS ESSENTIAL TO COMPLETION OF ROOF INSTALLATION INCLUDING HIP AND RIDGE SHINGLES, RIDGE VENT, CLOSURES, FLASHING, T' STYLE DRIP EDGE AND FASCIA
- SEALANT:** COLOR COORDINATED PRIMERLESS SILICONE OR HIGH GRADE, NON-DRYING BUTYL AS REQUIRED BY MANUF.
- SUBSTRATE:** 5/8" EXTERIOR GRADE OSB SHEATHING WITH ICE AND WATER SHIELD AT HIP AND VALLEYS ON (1) LAYER OF 30# ROOFING FELT AT SLOPES GREATER THAN 4:12, OR (2) LAYERS OF 15# ROOFING FELT AT SLOPES LESS THAN 4:12.

1. PROVIDE ROOF ACCESSORIES AND PENETRATION DETAILS AS REQUIRED BY MANUFACTURER TO MAINTAIN "GOLDEN PLEDGE" WARRANTY
- STANDING SEAM METAL -**
 PANEL LENGTH: ONE PIECE SINGLE LENGTH PANEL
 METAL: .032 ALUM. (COLOR T.B.D.)
 TRIM: .032 ALUM. (COLOR T.B.D.)
 SEAMS: CONTINUOUS INTERLOCKING
 SEAM SIZE: 1 1/2" H
 PANEL WIDTH: 16"
 FLASHINGS: MATCH GAUGE AND FINISH OF ROOF PANELS
- ACCESSORIES:** PROVIDE STANDARD ACCESSORIES AND ITEMS ESSENTIAL TO COMPLETION OF A STANDING SEAM ROOF INSTALLATION INCLUDING ANCHOR CLIPS, TRIM, RIDGE, CLOSURES, FLASHING AND FASCIA
- SEALANT:** COLOR COORDINATED PRIMERLESS SILICONE OR HIGH GRADE, NON-DRYING BUTYL AS REQUIRED BY MANUF.
- SUBSTRATE:** 7/16" EXT. GRADE OSB SHEATHING ON 2 X 6 T&G V" GROOVE WOOD DECKING WITH ICE AND WATER SHIELD ON (1) LAYER OF 30# ROOFING FELT

***CONTRACTOR NOTE:** PROVIDE FULL SCALE MOCK UP PANEL OF PROPOSED EXTERIOR FINISH MATERIALS PRIOR TO INSTALLATION

KOT HOSTETLER ARCHITECTS
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 2906 MARKET STREET, SUITE 101
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 PHONE: Shawn - 910.612.1119
 Greg - 910.612.4364
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CONSULTANTS

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ABBOTTS RUN APARTMENTS
 WILMINGTON AR HOUSING, LLC
 WILMINGTON NORTH CAROLINA

KOT HOSTETLER ARCHITECTS STATE REGISTRATION
 52570
 WILMINGTON, NC

ARCHITECT OF RECORD SHAWN E. HOSTETLER 11926
 11926
 WILMINGTON, NC

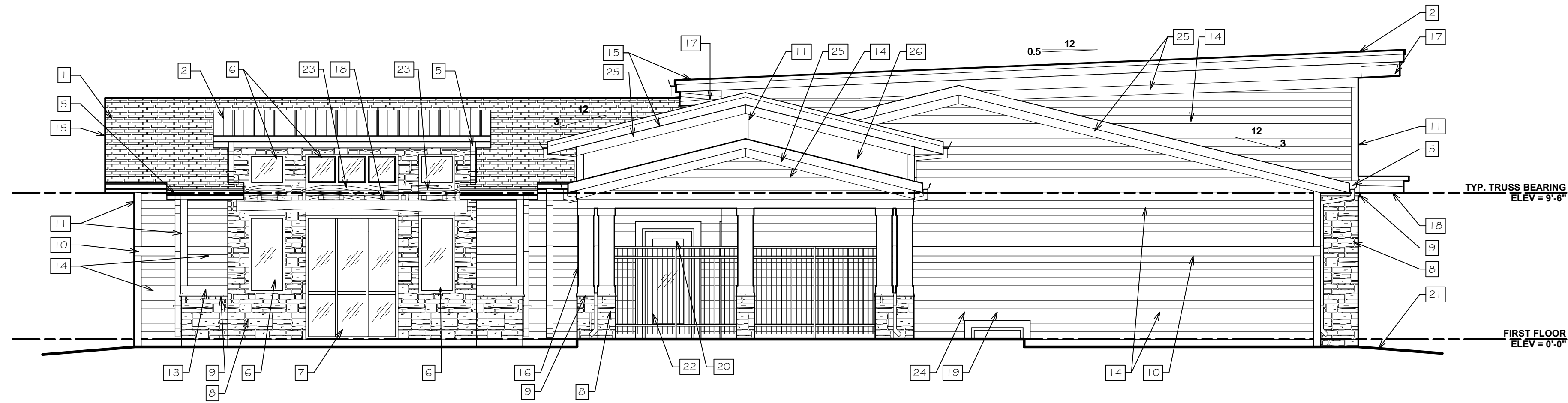
CONSTRUCTION DOCUMENTS : 06.24.16

REVISIONS		
MARK	DATE	DESCRIPTION
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DRAWN BY: _____ PROJ. MGR: _____
SHEET CONTENT

EXTERIOR ELEVATIONS

JOB NO. 16004	SHEET A201
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D
A202 **SOUTH ELEVATION**
SCALE: 3/16" = 1'-0"

ELEVATION KEYNOTES

1. 30 YEAR FIBERGLASS SHINGLES
2. PRE-FIN. STANDING SEAM METAL ROOFING
3. EXTERIOR LIGHT FIXTURE (SEE ELECTRICAL DWG'S)
4. ELECTRICAL METER CENTER (SEE ELEC. DWG'S)
5. PRE-FIN. MTL GUTTER AND DOWNSPOUT
6. ALUM. CLAD WOOD WINDOW
7. ALUM. STOREFRONT SYSTEM, REFER TO ELEVATIONS SHEET AGO1
8. CULTURED STONE VENEER
9. CULTURED STONE WATERTABLE
10. 5/4 X 8 FIBER CEMENT WALL BAND
11. 5/4 X 6 FIBER CEMENT TRIM
12. 5/4 X 10' FIBER CEMENT SKIRT BOARD
13. 5/4 X 6" FIBER CEMENT SKIRT BOARD
14. FIBER CEMENT LAP SIDING WITH 6" EXPOSURE
15. 1X FIBER CEMENT FASCIA AND MTL. DRIP EDGE
16. 12" CELLULAR PVC COLUMN SURROUND WITH 9 1/4" PVC BASE AND CAPITAL, (CHADSWORTH - 'SQUARE NON-TAPERED' OR EQUAL)
17. GLU-LAM BEAMS (ARCHITECTURAL GRADE LUMBER) STAIN AND SEAL FINISH
18. SUNSHADE STRUCTURE; P.T. AND RE-DRIED 4X10 BEAM AND WALL STUDS WITH 4X4 HORIZ. LOUVERS (STAIN AND SEAL)
19. EXTERIOR INSULATED MTL DOOR
20. ALUM. DOOR AND FRAME (REFER TO OPENING SCHED. SHT AGO1)
21. APPROX. FINISHED GRADE
22. ALUM. POOL BARRIER FENCE, REFER TO DETAIL 1/AO02
23. 1X6 SHIPLAP CEDAR SIDING, WITH 3/8" 'SHADOW GAP', STAIN AND SEAL FINISH
24. 5/4 X 6 FIBER CEMENT WINDOW/DOOR SURROUND TRIM
25. 5/4 X 8 FIBER CEMENT RAKE BOARD
26. 5/16" FIBER CEMENT PANEL

EXTERIOR MATERIALS LEGEND

- FIBER CEMENT SOFFIT:**
 MANUF.: JAMES HARDIE BUILDING PRODUCTS, INC.
 PRODUCT STYLES: A. VENTED SMOOTH (HARDIESOFFIT)
 B. NON-VENTED SMOOTH (HARDIESOFFIT)
 C. BEADED PORCH PANEL (HARDIESOFFIT)
 FINISH: 25' FACTORY PRIMED, FINISH W/ 100% ACRYLIC EXTERIOR PAINT (2 COATS MIN.)
 COLOR: T.B.D.
 FASTENERS: PER MANUF. RECOMMENDATIONS
- FIBER CEMENT SIDING:**
 MANUF.: JAMES HARDIE BUILDING PRODUCTS, INC.
 PRODUCT: A. HARDIE TRIM BOARDS (SIZE INDICATED ON DRAWINGS)
 B. 5/16" THICK LAP SIDING W/ 6" EXPOSURE (HARDIPLANK)
 C. 5/16" PANEL (HARDIPANEL VERTICAL SIDING)
 FINISH: 25' FACTORY PRIMED, FINISH W/ 100% ACRYLIC EXTERIOR PAINT (2 COATS)
 FASTENERS: PER MANUF. RECOMMENDATIONS
- CULTURED STONE SIDING:**
 MANUF.: ELDORADO STONE, INC.
 PRODUCT: CULTURED STONE SYSTEM (LEDGECUT33)
 FINISH: T.B.D.
 FASTENERS: PER MANUF. RECOMMENDATIONS
 ACCESSORIES: WAINSCOT SILL (SPLIT EDGE)
 GROUT: DRYSTACK TECHNIQUE
 SUBSTRATE: MORTER BED ON WIRE MESH AND SCRATCH COAT, ON 1/2" CEMENT BOARD (VERIFY WITH MANUF.)

ROOF ASSEMBLY DESCRIPTION:

- FIBERGLASS SHINGLES -**
- ROOFING: GRANULAR SURFACED, FIBERGLASS REINF. ASPHALT SHINGLE
 MANUF.: GAF MATERIALS CORPORATION
 PRODUCT: TIMBERLINE HD
 COLOR: TO BE SELECTED FROM MANUF. FULL LINE
 TRIM: .032 KYNAR COATED ALUMINUM (COLOR T.B.D.)
 FLASHINGS: .032 KYNAR COATED ALUMINUM (COLOR T.B.D.)
 ACCESSORIES: PROVIDE STANDARD ACCESSORIES AND ITEMS ESSENTIAL TO COMPLETION OF ROOF INSTALLATION INCLUDING HIP AND RIDGE SHINGLES, RIDGE VENT, CLOSURES, FLASHING, 'T' STYLE DRIP EDGE AND FASCIA
- SEALANT: COLOR COORDINATED PRIMERLESS SILICONE OR HIGH GRADE, NON-DRYING BUTYL AS REQUIRED BY MANUF.
- SUBSTRATE: 5/8" EXTERIOR GRADE OSB SHEATHING WITH ICE AND WATER SHIELD AT HIPS AND VALLEYS ON (1) LAYER OF 30# ROOFING FELT AT SLOPES GREATER THAN 4:12, OR (2) LAYERS OF 15# ROOFING FELT AT SLOPES LESS THAN 4:12.

1. PROVIDE ROOF ACCESSORIES AND PENETRATION DETAILS AS REQUIRED BY MANUFACTURER TO MAINTAIN 'GOLDEN PLEDGE' WARRANTY

STANDING SEAM METAL -

- PANEL LENGTH: ONE PIECE SINGLE LENGTH PANEL
 METAL: .032 ALUM. (COLOR T.B.D.)
 TRIM: .032 ALUM. (COLOR T.B.D.)
 SEAMS: CONTINUOUS INTERLOCKING
 SEAM SIZE: 1 1/2" H
 PANEL WIDTH: 16"
 FLASHINGS: MATCH GAUGE AND FINISH OF ROOF PANELS
- ACCESSORIES: PROVIDE STANDARD ACCESSORIES AND ITEMS ESSENTIAL TO COMPLETION OF A STANDING SEAM ROOF INSTALLATION INCLUDING ANCHOR CLIPS, TRIM, RIDGE, CLOSURES, FLASHING AND FASCIA
- SEALANT: COLOR COORDINATED PRIMERLESS SILICONE OR HIGH GRADE, NON-DRYING BUTYL AS REQUIRED BY MANUF.
- SUBSTRATE: 7/16" EXT. GRADE OSB SHEATHING ON 2 X 6 T&G 'Y' GROOVE WOOD DECKING WITH ICE AND WATER SHIELD ON (1) LAYER OF 30# ROOFING FELT

***CONTRACTOR NOTE:** PROVIDE FULL SCALE MOCK UP PANEL OF PROPOSED EXTERIOR FINISH MATERIALS PRIOR TO INSTALLATION

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CONSULTANTS

Blank area for listing consultants.

NEW CLUBHOUSE FOR

ABBOTTS RUN APARTMENTS

WILMINGTON AR HOUSING, LLC

WILMINGTON NORTH CAROLINA



CONSTRUCTION DOCUMENTS : 06.24.16

REVISIONS		
MARK	DATE	DESCRIPTION
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DRAWN BY: _____ PROJ. MGR: _____

SHEET CONTENT

EXTERIOR ELEVATIONS

JOB NO. 16004 SHEET A202